SIX MONTHLY COMPLIANCE REPORT OF STIPULATED CONDITIONS OF ENVIRONMENTAL CLEARANCE

(January 2020- June 2020)

Of

Proposed Residential Development with Public Parking facility

On

CS No. 2A/116 & 4/116 of Salt Pan division & 4/356 of Matunga Division, Vidyalankar- College Road Antop Hill, Wadala (E), Mumbai-400 037 .

Submitted to

Maharashtra Pollution Control Board (Mumbai), Environment Department, Mantralaya and Ministry of Environment and Forests and Climate Change (Regional Office)

Submitted By

M/s. DOSTI REALTY LTD.

Lawrence & Mayo House, 1st Floor 276,

Dr. D. N. Road, Fort

Mumbai – 400 001

Project Details:

Sr. No.	Project details	
1.	Name of the project	Proposed Residential Development with Public Parking facility project C.S. No. 2A/116 & 4/116 of Salt Pan Division & 4/356 of Matunga Division, Vidyalankar - College Road, Antop Hill, Wadala (E), Mumbai – 400 037
2.	Name of the project proponent	M/s Dosti Realty Ltd.
3.	Clearance letter No. and Date	SEAC- 2015/CR-276/TC-1 Dated 12th July, 2016
4.	**Area Statement:**	
5.	Total Plot area	18,667.08 Sq.mt.
6.	Net Plot area	17,733.73 Sq. mt.
7.	FSI Area	59,196.90 Sq.mt.
8.	Non FSI Area	1,21,600.75 Sq.mt.
9.	Total BUA area	1,80,797.65 Sq.mt.
10.	Total no. of flats	Flats – 544 Nos.
11.	Water Requirement of the project	Domestic:248m^3/ day Flushing:127m^3/ day For Swimming Pool (from Tanker Water): 23 m^3/day Gardening: 41 m^3/day Total Water requirement:439 m^3/ day
12.	STP details	Sewage generated: 325 KLD STP capacity:360 KLD
13.	Solid Waste details	Dry Waste:367 Kg/day Wet Waste: 857 Kg/day STP Sludge: 49 Kg/day Total Waste generated: 1224 Kg/day

Monitoring the Implementation of Environmental Safeguards

Ministry of Environment, Forests & Climate Change

Regional Office (West Central Zone), Nagpur

Monitoring Report

PART – I

DATA SHEET

Date: 19th June 2020

1.	Project type: River - valley/ Mining / Industry / Thermal / Nuclear / Other (specify)		:	Proposed Residential Development with Public Parking facility at Wadala (E), Mumbai
2.	Name of the project		:	Proposed Residential Development with Public Parking facility project C.S. No. 2A/116 & 4/116 of Salt Pan Division & 4/356 of Matunga Division, Vidyalankar -College Road, Antop Hill, Wadala (E), Mumbai – 400 037.
3.	Clearance letter (s) / OM No. and Date		:	**SEAC- 2015/ CR- 276/ TC - 1** **Dated 12th July, 2016**
4.	Location		:	
	a.	District (S)	:	**Mumbai**
	b.	State (S)	:	**Maharashtra**
	c.	Latitude/ Longitude	:	**Latitude : 19°1'21.01"N** **Longitude: 72°52'3.13"E**
5.	Address for correspondence		:	**M/s Dosti Realty Ltd.** Lawrence & Mayo House, 1st floor, 276, Dr. D.N. Road, Fort , Mumbai – 400 001
	a.	Address of Concerned Project Chief Engineer (with pin code & Telephone / telex / fax numbers	:	**Name: Mr. Santosh Shirkar** Address: Lawrence and Mayo house 1st floor, 276, Dr. D.N Road, Fort, Mumbai – 400 001

	b.	Address of Executive Project: Engineer/Manager (with pincode/ Fax numbers)	:	**Name: Ms. Vidya Pawar** Address: Dosti Realty Ltd. Lawrence and Mayo house 1st floor, 276, Dr. D.N Road, Fort, Mumbai – 400 001
6.	Salient features		:	
	a.	of the project	:	**Annexure A**
	b.	of the environmental management plans	:	**Annexure B**
7.	Break up of the project area		:	
	a.	submergence area forest & non-forest	:	**Non-Forest**
	b.	Others	:	**Annexure - A**
8.	Break up of the project affected Population with enumeration of Those losing houses/dwelling units Only agricultural land only, both Dwelling units & agricultural Land & landless laborers/artisan		:	**Not Applicable**
	a.	SC, ST/Adivasis	:	**Not Applicable**
	b.	Others (Please indicate whether these Figures are based on any scientific And systematic survey carried out Or only provisional figures, it a Survey is carried out give details And years of survey)	:	**Not Applicable**
9.	Financial details		:	
	a.	Project cost as originally planned and subsequent revised estimates and the year of price reference	:	**Original Plan: Rs. 665 Crores** **Subsequent Revision: Additional Rs. 190 Crores**

	b.	Allocation made for environmental management plans with item wise and year wise Break-up.	:	**Allocation for Environment Management Plan** **During Construction Phase -** **Rs. 2536.1 Lakhs** have been allocated for the entire construction period. **During Operational Phase -** **Capital Cost: Rs. 4390.28 Lakhs and O & M cost: Rs. 187.1 Lakhs per Annum** **Refer Annexure – C**
	c.	Benefit cost ratio/Internal rate of Return and the year of assessment	:	**Not Applicable**
	d.	Whether (c) includes the Cost of environmental management as shown in the above.	:	**Not Applicable**
	e.	Actual expenditure incurred on the environmental management plans so far	:	**Rs. 1.28 Crores**
10.	Forest land requirement		:	
	a.	The status of approval for diversion of forest land for non-forestry use	:	**The land is of non-forest type hence not applicable**
	b.	The status of clearing felling	:	**Not Applicable**
	c.	The status of compensatory afforestation, if any	:	**Not Applicable**
	d.	Comments on the viability & sustainability of compensatory afforestation program in the light of actual field experience so far	:	**Not Applicable**

11.	The status of clear felling in Non-forest areas (such as submergence area of reservoir, approach roads), if any with quantitative information		:	**Not Applicable**
12.	Status of construction		:	Architect's certificate is attached
	a.	Date of commencement (Actual and/or planned)	:	**13/04/2016**
	b.	Date of completion (Actual and/of planned)	:	**December 2021 (Planned)**
13.	Reasons for the delay if the Project is yet to start		:	NA
14	Dates of site visits		:	-
	a.	The dates on which the project was monitored by the Regional Office on previous Occasions, if any	:	**Site visit was done on 22nd June, 2018**
	b.	Date of site visit for this monitoring report	:	**03.02.2020**
15.	Details of correspondence with Project authorities for obtaining Action plans/information on Status of compliance to safeguards Other than the routine letters for Logistic support for site visits		:	Our letter No. Nil dated 25.04.2018 and received by Regional Office on 10.05.2018 Your letter: F. No. 18-C-13/2013(SEAC)/ 3709 and dated 23.05.2018 **Site visit was done on 22nd June 2018**
	(The first monitoring report may contain the details of all the Letters issued so far, but the Later reports may cover only the Letters issued subsequently.)		:	-

Current Status of the project

Architect's Certificate

RAMNANI & ASSOCIATES
ARCHITECTS, INTERIOR - DESIGNERS, STRUCTURAL ENGINEERS & VALUERS

R. D. SHENOY
B. Arch, A.I.I.A, A.I.I.D,A.I.F.I,F.I.I.V
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Date: 9th June 2020

UNDERTAKING

We, M/s Ramnani & Associates are Liaising Architect for proposed Residential Development with Public Parking Facilityon plot bearing C.S. No. 2A/116 & 4/116 of Salt Pan Division & 4/356 of Matunga Division, Vidyalankar College Road, Antop Hill, Wadala (E), Mumbai – 400 037 which is being developed by our client**M/s.Dosti Realty Ltd**.Environmental Clearance is already received for the project vide letter no. SEAC-2015/CR-276/TC-1 Dated 12th July, 2016. We are submitting herewith the current status of the project as follows:

	In sq. m	Remarks
Total Construction area	1, 80, 797.65	
Total FSI area	59, 196.90	
Total Non- FSI area	1, 21,600.75	
Construction done till date	31, 710	With regards to total construction area, 17.5% work has been completed.

Thanking You,
Yours Faithfully,

RAJESH DEVDAS SHENOY
Digitally signed by RAJESH DEVDAS SHENOY
Date: 2020.06.11 16:15:32 +05'30'

Ar.Rajesh Shenoy (Reg No: CA/85/9351)
For M/s Ramnani & Associates

Point wise compliance status to various stipulations laid down by the Government of Maharashtra as per the Environmental Clearance issued vide letter no.
SEAC- 2015/CR-276/TC-1 dated 12th July 2016 as follows:

Sr. No.	Condition	Status
	General Conditions Pre Construction Phase	
i.	This Environmental clearance is issued subject to land use verification. Local authority / planning authority should ensure this with respect, Regulations, Notifications, Government Resolutions, Circulars, etc. issued if any, Judgments/Orders issued by Hon"ble court, Hon"ble NGT, Hon"ble supreme court regarding DCR provisions. Environmental issues applicable in this matter should be verified. PP should submit exactly the same plans appraised by concern SEAC and SEIAA. If any discrepancy found in the plans submitted or details provided in the above para may be reported to environment department. This environmental clearance issued with respect to the environmental consideration and it does not mean that State Level Impact assessment Authority (SEIAA) approved the proposed land use.	All necessary permissions / clearance have been obtained from the competent authorities; Obtained **Environmental Clearance** from SEIAA, Maharashtra vide letter No.: SEAC-2015/CR-276/TC-1, dated: 12th July, 2016 and is attached as **Annexure – 01**. Received **Intimation Of Disapproval** from MCGM dated on 24/09/2015 and is attached as **Annexure – 02.** Obtained **Commencement Certificate and revalidation Letter** from MCGM and attached as **Annexure – 03**
ii.	E- waste shall be disposed through Authorized vender as per E- waste (Management and Handling) Rules, 2011	E- waste shall be disposed through authorized vendor as per amended E- waste (Management and Handling) Rule 2016
iii.	Vertical pits to be provided for better	Proper ventilation and lighting up to 3rd

Sr. No.	Condition	Status
	ventilation and lightning up to 3rd basement outside the building line	basement is planned. Detail of cut out as per NBC for basement is given in **Annexure – 04 Basement Drawings**
iv.	Fire Staircase and fire lift shall not go to the basement and shall terminate on the ground floor only.	Developer has made such plans that no fire lift and staircase will go to the basement and will be terminated on ground floor only.
v.	No services should be loaded and no electrical control room be provided in basement.	Electrical room is provided on ground floor and separate service floor is provided for carrying out services like housekeeping etc. Refer **Annexure – 05 Floor Plan Drawings**
vi.	This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable and this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.	**Not Applicable**
vii.	PP has to abide by the conditions stipulated by SEAC & SEIAA.	Yes, developer has agreed to follow the mentioned condition.
viii.	The height, construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body and it should ensure the same along with survey number before approving layout plan and before according commencement	The height of the building is in accordance with the local planning permission and building will be as per the approved building plan. **Annexure – 06** For **Height Clearance.** Project site is in residential zone as per DP

Sr. No.	Condition	Status
	certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.	remark refer **Annexure – 07** for **DP Remark**
ix.	"Consent for Establishment" shall be obtained from MPCB under the Air and Water Act and a copy of the same shall be submitted to the Environment Department before start of any construction work at the site.	We got Consent to Establish from MPCB vide Consent No. Format 1.0/BO/CAC-Cell/UAN No. 0000005162/CE/5th CAC/190/00/340. Please refer **Annexure – 08** for **Consent to Establish** copy.
x.	All required Sanitary and Hygienic Measures are in Place before starting Construction activities and to be maintained throughout the Construction phase.	Total 200 Nos. of hutments are provided on site for construction workers. Proper housekeeping and regular pest control is being carried out through construction. First aid and medical facilities are provided during construction. Site sanitation like safe and adequate Municipal water for drinking and domestic purpose, 20 Nos. of Toilets, 2 Nos. of bathrooms and periodical medical checkups facilities are provided during construction phase. Waste generated from toilets and bathrooms is collected by sewage suction tanker by local solid waste management facility for

Sr. No.	Condition	Status
		further treatment. Provision is made for a temporary room within the project site for collection, segregation and storage of biodegradable and non- biodegradable waste. The biodegradable waste will be treated in an Organic Waste Convertor (OWC) and non- biodegradable waste will be handed over to local solid waste management facility for further treatment. Further, the dried STP sludge and compost will be used in gardening during operation phase. **Annexure - 09 Health Screening reports of Construction workers**.
General Conditions for Construction Phase		
i.	Provision shall be made for the housing of construction labor within the site with all necessary infrastructure and facilities such as fuel for cooking, mobile toilets, mobile STP, safe drinking water, medical health care, crèche and First Aid Room etc.	Provisions of Cooking facilities, Toilets and Safe drinking water arrangements are made to workers. **Annexure – 09** for **Sanitary and Hygienic measures provided to workers.**
ii.	Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes	Total 200 nos. of hutment are provided on site for construction workers. Proper housekeeping and regular pest control is being carried out though

Sr. No.	Condition	Status
	generated during the construction phase should be ensured.	construction. First aid and medical facilities are provided during construction. Site sanitation like safe and adequate municipal water for drinking and domestic purpose, 20 nos of toilets, 2 Nos of bathrooms and periodic checkup facilities are provided during construction phase. Waste generated from toilets and bathrooms is collected by sewage suction tanker by local solid waste management facility for further treatment. Provision is made for temporary room within the project site for collection, segregation and storage of biodegradable and non-biodegradable. First segregated into biodegradable, non-biodegradable, recyclable and reusable waste. The biodegradable waste will be treated in an organic waste convertor (OWC) and the non-biodegradable waste will be handed over to local solid waste management facility for further treatment Further the dried STP sludge and compost will be used in gardening during operation phase.
iii.	The solid waste generated should be	Waste generated from toilets and bathrooms

Sr. No.	Condition	Status
	properly collected and segregated. Dry/inert solid waste should be disposed of for land filling after recovering recyclable material.	is collected by sewage suction tanker by local solid waste management facility for further treatment. Provision is made for a temporary room within the project site for collection, segregation, and storage of biodegradable and non-biodegradable waste.
iv.	Disposal of muck during construction phase should not create any adverse effects on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.	Excavated material is stock piled and will be partly reused for back filling, plot leveling and remaining debris will be disposed off by covered trucks to the authorized sites with the prior permission from Solid waste management of MCGM. Refer **Annexure – 10** for **Debris NOC** from MCGM**.** (We have been working on the superstructure thus any excavation wasn't carried out. We shall revalidate Debris NOC shortly after the onset of monsoon) Also construction is avoided during monsoon season in order to avoid any accident.
v.	Arrangement shall be made that waste water and storm water do not get mixed.	Separate Arrangement are made for storm water drain and waste water does not get mixed. Also excess storm water will be drained to municipal storm water drains.
vi.	All the topsoil excavated during construction activities should be stored for use in horticulture / landscape	Top soil has been used for gardening.

Sr. No.	Condition	Status
	development within the project site.	
vii.	Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.	Yes additional soil will be used for leveling of plot excavated soil is being used so that natural drainage system is being maintained.
viii.	Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.	The green belt design along the periphery of the plot will be such that it can attenuate the day and night noise level to the standard prescribed for residential used by MPCB Developer will provide RG area on ground and podium Currently project is on initial phase. **RG Area** is proposed **on the Ground 4,434.86** Sq.m and the **Podium 3,318.16 Sq.m**.
ix.	Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.	The construction process does not involve any activity which may lead to leaching of heavy metal and toxic contaminants Hence there is no threat of contamination to sub-soil and ground water. Soil and Ground water is tested and the **Monitoring Reports** for soil and ground water are attached as **Annexure - 11**
x.	Construction spoils including bituminous material and other hazardous materials must not be allowed to contaminate water courses and the dump sites for such materials must be secured so that they should not leach into the ground water.	There is no bituminous waste. All precautions are taken to prevent contamination of water source. The construction process does not involve in storage of hazardous material to be consumed in building construction works.

Sr. No.	Condition	Status
xi.	Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra State Pollution Control Board.	No hazardous waste generation as per the consent granted by MPCB
xii.	The diesel generator sets to be used during construction phase should be low sulfur diesel type and should be confirm to Environments (Protection) Rules prescribed for air and noise emission standards.	DG set are not used during construction phase. It is only used as a power back up source during power failure in operation phase.
xiii.	The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concerned authority shall be taken	DG set are not used during construction phase. It will be only used as a power back up source during power failure in operation phase. We ensure fuel to be used for DG set will be of low Sulphur and enclosed type and be confirmed to environment (protection) rules prescribed for Air and Noise emission standards.
xiv.	Vehicles hired for bringing construction material to site should be in good condition and should have valid "pollution under check" (PUC) certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.	Vehicle hired for bringing construction material to site have valid pollution check certificate and confirm to applicable air and noise emission standard and are operated only during non-peak hours. Refer **Annexure – 12** for **Pollution Under Control certificate**.
xv.	Ambient noise level should conform to residential standards both during day and night. Incremental pollution load on the ambient air and noise quality should be	During construction adequate measures are taken to maintain ambient air and noise quality within the prescribed limit.

Sr. No.	Condition	Status
	closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by the CPCB/MPCB.	Water sprinkling would be carried out as Dust suppression to arrest fugitive dust arising mainly due to transportation of construction material. The vehicles hired by the Contractor for construction purposes are checked for valid PUC certificates. Air and Noise level monitoring is being carried out during the construction phase to ensure that the ambient air quality and noise levels are within the prescribed limits. The plot is barricaded to avoid spread of pollutants. Please refer **Annexure -11** for **Monitoring Report** for **Air and Noise.**
xvi.	Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100 Km of Thermal Power Stations.)	Portland cement is used which already contains Fly ash.
xvii.	Ready mixed concrete must be used in building construction.	Ready mix concrete is used for construction of Building. Refer **Annexure - 13** for **Consent to Operate for RMC Plant**

Sr. No.	Condition	Status
xviii	The approval of competent authority shall be obtained for structural safety of the buildings due to any possible earthquake, adequacy of firefighting equipment's etc. as per the national building Code including measures from lighting.	Please refer **Annexure – 14** for **Structural Stability Certificate.** Please refer **Annexure -15** for **Fire NOC** from CFO, MCGM. Adequate quantities of firefighting equipment are already installed in various location.
xix	Storm water control and its reuse as per CGWB and BIS standards for various applications.	**Agreed to comply with.**
xx	Water demand during construction should be reduced by using pre-mixed concrete, curing agents and best practices referred.	**Agreed to comply with.** Ready Mix Concrete along with fly ash is being used.
xxi	The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.	We have taken dewatering permission from MCGM to lift water coming from basement at the time of excavation. No extraction of ground water from site for construction activities. Refer **Annexure – 16** for **Dewatering Permission** (We have been working on the superstructure thus any excavation wasn't carried out. We shall revalidate Dewatering Permission shortly after the onset of monsoon) Refer **Annexure – 11** for **Monitoring Report of Ground Water.**

Sr. No.	Condition	Status
xxii	The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the Ministry before the project is commissioned for operation, Treated effluent emanating from STP shall be recycled/ refused to the maximum extent possible. Treatment of 100% gray water by decentralized treatment should be done. Discharge of unused treated effluent shall confirm to the norms and standards of the MPCB. Necessary measures should be made to mitigate the odour problem from STP.	A full – fledged STP of capacity of 360 KLD will be installed onsite for the treatment of the entire waste water generated on the project. Treated waste water confirms to norms prescribed by Maharashtra Pollution Control Board, Mumbai and will be utilized for flushing, gardening to reduce fresh water demand.
xxiii	Permission to draw ground water should be obtained from competent authority prior to construction/operation of project.	We have taken dewatering permission from MCGM to lift water coming from basement at the time of excavation. No extraction of ground water from site for construction activities. Refer **Annexure – 16** for **Dewatering Permission.** (We have been working on the superstructure thus any excavation wasn't carried out. We shall revalidate Dewatering Permission shortly after the onset of monsoon)
xxiv	Separation of grey and black water should be done by the use of dual plumbing line for separation of gray and black water.	Yes. Grey & Black Water will be separated by the use of dual plumbing line

Sr. No.	Condition	Status
xxv	Fixtures for showers, toilet flushing and drinking should be done by use of low flow either by use of aerators or pressure reducing devices or sensor based control.	Yes. Low pressure water fixtures are proposed.
xxvi	Use of glass may be reduced to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.	Glass shall be used only for windows.
xxvii	Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.	Thermal insulation will be provided in roofs.
xxviii	Energy conservation measures like installation of CFCLs/TFLs for lightning the area outside the building should be integral part of the project design and should be in place before commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.	Energy conservation measures are as follows; 20 KW Solar Power lighting to be used for staircase lighting. Use of T5 fitting (28W) and electric ballast instead of fluorescent light fittings. Use of BEE five star certified appliance and air conditioners. Use of BEE control and variable speed drives for all electric devices. Day light system will be as per based on sensor controls.

Sr. No.	Condition	Status
		Use of CO sensors for demand based ventilation.
xxix	Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of "Enclosed type" and conform to rules made under Environment (Protection) Act 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with MPCB.	DG sets are not used during construction phase as power back up. It will be only used as power back- up source for elevator and common area illumination during power failure in operation phase. Proposed DG sets conform to rules made under Environment (Protection) Act 1986. CPCB approved D.G sets with enclosed type and proper stack height will be installed in operation phase.
xxx	Noise should be controlled to ensure that the noise levels do not exceed the prescribed standards during night time the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.	The green belt design along the periphery of the plot will be such that it can attenuate the day and night noise levels to the standard prescribed for residential use by MPCB. We will provide R.G. area on ground & podium. RG area is proposed on the ground 4,434.86 Sq.m. and the podium 3,318.16 Sq.m
xxxi	Traffic congestion near the entry and exit points from the roads adjoining the proposed site must be avoided. Parking should be fully internalized and no public space should be utilized.	Public road and public area are not being used for project activity purpose and are free from smooth traffic movement. Following provision are made for adequate parking facility within the project complex. Captive: 45,087.58 Sq. m. Public : 45,170.00 Sq.m.
xxxii	Opaque wall should meet prescriptive requirement as per Energy Conservation	Thermal insulation will be provided as per ECBC norms. Also ecofriendly paints will

Sr. No.	Condition	Status
	Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspirational for non-air-conditioned spaces by use of appropriate thermal insulation to fulfill requirement.	be use which will aid in UHI. Detail **UHI Report** is attached in **Annexure -17**
xxxiii	The buildings should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.	There is only one building with three wings.
xxxiv	Regular supervision of above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.	Regular supervision is being carried out.
xxxv	Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.	SEIAA, Govt. of Maharashtra granted Environmental Clearance for the Project vide letter no. SEAC- 2015/CR. 276/TC. 1, dated: 12/07/2016. Refer **Annexure- 01** for **Environmental Clearance (EC) copy.**
xxxvi	Six monthly monitoring reports should be submitted to the Department and MPCB.	Six monthly monitoring report are being submitted. Previous Compliance report was submitted till date June 2019 to MoEF, Environment department Govt. of Maharashtra and MPCB office. Refer **Annexure - 18 June 2019 Compliance report submission acknowledgement copies** Previous compliance report was submitted till date 30th June 2018 to Environment

Sr. No.	Condition	Status
		department Govt. of Maharashtra. and to S.R.O. MPCB, Mumbai – I Previous compliance report was submitted till date 31st, June 2017 vide letter dated 1/9/2017 to MoEF, 4/9/2018 to Environment department Govt. of Maharashtra. and to S.R.O. MPCB, Mumbai – I Another compliance report was submitted for the period of April 2017 to September 2017 vide letter dated 22 / 02/ 2018 to MoEF and Central Pollution Control Board and 20/02/2018 to Environment department Govt. of Maharashtra. and S.R.O, MPCB, Mumbai I,
General Conditions for Post-Construction/operation Phase		
i.	Project Proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings. No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.	A full- fledged STP of capacity of 360KLD will be installed onsite for the treatment of the entire waste water generated on the project. Treated waste water conforms to norms prescribed by Maharashtra Pollution Control board, Mumbai and will be utilized for flushing, gardening to reduce fresh water demand. Provision is made for a temporary room within the project site for collection,

Sr. No.	Condition	Status
		Segregation and storage of biodegradable & non-biodegradable waste. First segregated into biodegradable, Non-biodegradable, recyclable and reusable waste. Organic Waste Convertor (OWC) will be provided to treat 857 Kg/day biodegradable wastes and 367 Kg/day Non-biodegradable wastes will be handed over to local solid waste management facility for further treatment. Further, the dried STP sludge and compost will be used in gardening during operation phase. The green belt development along the periphery of the plot will be such that it can attenuate the day and night noise levels. RG area is proposed on the ground 4,434.86 Sq. m and on the podium 3,318.16Sq. m.
ii.	Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises. Local Authority should ensure this.	Organic Waste Convertor (OWC) will be provided to treat 857 Kg/day biodegradable waste and the treated waste (Compost) will be used in gardening during operational phase.

Sr. No.	Condition	Status
iii.	Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.	A full – fledged STP of capacity of 360 KLD will be installed onsite for the treatment of waste water and treated waste water conforms to norms prescribed by Maharashtra Pollution Control Board, Mumbai and same will be utilized for flushing, gardening to reduce fresh water demand. Organic waste Convertor (OWC) will be provided to treat 857 Kg/ day biodegradable waste. The treated waste (Compost) will be used in gardening during operational phase.
iv.	A complete set of all documents submitted to the Department shall be forwarded to the MPCB.	Developer is submitting one copy of this report along with approvals received for the project to MPCB.
v.	In case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.	Yes developer has agreed to the mentioned condition. If any change occurs in proposed projects, developer would apply for revised approval.
vi.	A separate environmental Management Cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.	A separate environment management cell with qualified staff is appointed for implementation of the stipulated environmental safeguards.
vii.	Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environmental	**Complied** Separate funds have been allocated for implementation of Environmental Protection Measures; **Environmental Management Plan** **During Construction Phase**

Sr. No.	Condition	Status
	protection measures shall not be diverted for any other purposes and year-wise expenditure should reported to the MPCB and this department.	Rs 2,536.1 lakhs have been allocated for the entire construction period. **During Operation phase** Capital Cost : 4,390.28 Lakhs O&M cost : 187.1 Lakhs **Refer Annexure C**
viii.	The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of the clearance letter are available with the MPCB and may also be seen at Website at http://ec.mahahrashtra.gov.in	**Complied.** After getting Environmental clearance from SEIAA, Govt. of Maharashtra vide letter no. SEAC-2015/CR.276/TC.1, dated: 12/07/2016. We published public notice in local Newspapers. Refer **Annexure – 19** for **News Paper Advertisement copy.**
ix.	Project management should submit half yearly compliance reports in respect of the stipulated prior environmental clearance terms and conditions in hard and soft copies to the MPCB and this Department, on 1st June and 1st December of each calendar year.	Submitting six monthly report on the status of the compliance of the stipulated EC conditions to Environment Department - Mantralaya MPCB & MoEF
x.	A copy of clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the	**Agreed to Comply with.** Developers have submitted copy of Environment clearance to local Municipal Corporation and NGO and has been uploaded the same on the website of the company.

Sr. No.	Condition	Status
	proponent.	
xi.	The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely: SPM, RSPM, SO_2, NO_x (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.	**Agreed to Comply with.** We are submitting six monthly report copies to MPCB, CPCB, Environment Department and MoEF regional office. Refer **Annexure - 11** for **Monitoring Results.** **Refer Annexure 18** for proof of submission of six monthly report copies to MPCB, CPCB and MoEF regional office and of company website.
xii.	The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal office of CPCB and the SPCB.	**Agreed to Comply with.** We are enclosing status of the project along with six monthly report to respective MoEF regional office, MPCB and CPCB office both in hard copy and as well as by email format. Refer **Annexure - 11** for **Monitoring Reports.**
xiii.	The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company	**Agreed to Comply with.** We will submit Environment Statement for each year to MPCB, CPCB and Regional MoEF office.

Sr. No.	Condition	Status
	along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.	
4.	The Environmental clearance is being issued without prejudice to the action initiated under EP act or any case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP act or of the Hon'ble court will be binding on the project proponent hence this clearance does not give any immunity to the project proponent in the case filed against him, if any or action initiated under EP act.	**Noted.**
5	In case of submission of falls document and non-compliance of stipulated conditions, authority/ environment department will revoke or suspend the environmental clearance without any intimation and initiate appropriate legal action under environmental protection act 1986.	Yes, Developer has agreed to follow the mentioned condition.
6	The environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.	Yes, Developer has agreed to follow the mentioned condition.

Sr. No.	Condition	Status
7.	**Validity of environmental clearance:** the environmental clearance accorded shall be valid for a period of 5 years.	Yes, developer has agreed to follow the mentioned condition. Now as per **Notification no. S.O. 1141 (E) dated 29th April, 2015** now the validity has extended to 7 years.
8	In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.	Yes, if there is any change in project occurs developer will make fresh proposal to the environment department.
9	The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act 1974, the Air (Prevention and (Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.	Yes, Developer have agreed to follow the mentioned condition.
10	Any appeal against this environmental clearance shall lie with the National Green Tribunal, Van Vigyan Bhawan, Sec-5, R.K. Puram, New Delhi – 110 022, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.	Yes, developer agreed to follow the mentioned condition.

List of Annexures

Annexure - 01	Environmental Clearance (EC)
Annexure - 02	Intimation Of Disapproval (IOD) Copy
Annexure - 03	Commencement Certificate (CC) & Revalidation Letter
Annexure – 04	Basement Drawings
Annexure - 05	Ground floor Plan drawing
Annexure - 06	Height Clearance NOC
Annexure - 07	DP Remark
Annexure - 08	Consent to Establish
Annexure - 09	Health Screening Report
Annexure - 10	Debris NOC
Annexure - 11	Monitoring Report
Annexure - 12	PUC certificate
Annexure - 13	Consent to Operate for RMC plant
Annexure - 14	Structural Stability certificate
Annexure - 15	Fire NOC
Annexure - 16	Project Site photographs
Annexure - 17	Dewatering permission
Annexure - 18	UHI report
Annexure - 19	Previous Compliance Report Submission Acknowledgement Copies
Annexure - 20	Newspaper Advertisement copy
Annexure - 21	Tree NOC
Annexure - 22	EMP Expenditure

Annexure 01: Environmental Clearance

STATE LEVEL ENVIRONMENT IMPACT ASSESSMENT AUTHORITY

SEAC-2015/CR-~~216~~TC-1
Environment department
Room No. 217, 2nd floor,
Mantralaya Annexe,
Mumbai- 400 032.
Date:12th July, 2016

To,
M/s Dosti Realty Ltd.
Lawrence & Mayo House,
1st Floor, 276, Dr. D. N. Road,
Fort, Mumbai- 400 001.

Subject: Environmental clearance for residential development with public parking at CS.No.2A/116 & 4/116 of Salt Pan Division & 4/356 of Matunga Division, Vidyalankar College Road, Antop Hill, Wadala (E), Mumbai by M/s Dosti Realty Ltd.

Sir,

This has reference to your communication on the above mentioned subject. The proposal was considered as per the EIA Notification - 2006, by the State Level Expert Appraisal Committee-II, Maharashtra in its 42nd meeting and recommend the project for prior environmental clearance to SEIAA. Information submitted by you has been considered by State Level Environment Impact Assessment Authority in its 99th meeting.

2. It is noted that the proposal is considered by SEAC-II under screening category 8(b) B1 as per EIA Notification 2006.

Brief Information of the project submitted by you is as-

Name of Project	Proposed Residential development with public parking facility at Wadala (E), Mumbai
Name of Proponent	•Name: Mr. Deepak K. Goradia (Managing Director) M/s. Dosti Realty Ltd.
Name of Consultant	•Name: Environmental Consultants : M/s. Ultra-Tech Environmental Consultancy & Laboratory
Accreditation of Consultant (NABET Accreditation)	• QCI NABET List for the construction project / Area development project / Township: S.N. 93 of LIST 'A' of MoEF - O.M. No. J 11013/77/2004/IA II(I) dated September 30, 2011 Sr. No.159 of list of Consultants with Provisional Accreditation * (Rev.39) of dated 8th October 2015
Type of project: Housing project / Industrial Estate / SRA scheme / MHADA / Township or others	Category 8 (B1)
Location of the Project	C.S. No. 2A/116 & 4/116 of Salt Pan Division & 4/356 of Matunga Division, Vidyalankar College Road, Antop Hill, Wadala (E), Mumbai - 400 037
Whether in Corporation / Municipal / other area	Municipal Corporation of Greater Mumbai (M.C.G.M.)

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Applicability of the DCR	DCR 33 (24)
Note on the Initiated Work (If applicable)	Total constructed work (FSI+ Non FSI): Nil. Date and area details in the necessary approvals issued by the competent authority (attach scan copies): Not Applicable
LOI / NOC from MHADA / Other approvals (If applicable)	Date and construction area details mentioned in the approved letter: Received Public Parking LOI from M.C.G.M. dt. 15th November 2014
Total Plot Area Deductions Net Plot area	18,667.08 Sq. m. 933.35 Sq. m. 17,733.73 Sq. m.
Permissible FSI (including TDR etc.)	59,230.36 Sq. m. (Including Fungible Area)
Proposed Built-up Area (FSI & Non-FSI)	•FSI area (sq. m.):59,196.90 Sq. m. (Including Fungible Area) •Non FSI area (sq. m.):1, 21,600.75 Sq. m. •Total BUA area (sq. m.):1,80,797.65 Sq. m.
Ground-coverage Percentage (%) *(Note: Percentage of plot not open to sky)*	11,348.16 Sq. m. (63.99 %)
Estimated cost of the project	Rs. 665 Crores
No. of building & its configuration(s)	One building 3 Wings -Wing A, B & C: Wing A: 3 Basement + Stilt + 5 Podia + 37 Floors + 38 Floors (Part). Wing B: 3 Basement + Ground + 5 Podia + 36 Upper Floors + 37th Floors (Part). Wing C: 3 Basements + Ground + 5 Podia + 38 Upper Floors. Public Parking Facility (658 nos.)
Number of tenants and shops	Flats: 544 Nos. Public Parking Facility
Number of expected residents / users	Residents: 2720 Nos. Public Parking Facility: 506 Nos. (Floating population)
Tenant density per hector	307/hector
Height of the building(s)	144.95 m. (Up to terrace level)
Right of way (Width of the road from the nearest fire station to the proposed building(s)	18.30 m. wide DP Road
Turning radius for easy access of fire tender movement from all around the building excluding the width for the plantation	9m. - 12 m.
Existing structure(s)	Previously there was a steel industry which is already closed.
Details of the demolition with disposal (If applicable)	Not Applicable
Total Water Requirement	Dry season: •Fresh water (CMD): 271 For Domestic : From M.C.G.M. = 248 For Swimming pool : From tanker water of potable quality= 23 •Recycled water (CMD): 168 (STP Treated sewage) Flushing: 127 Gardening: 41 •Total Water Requirement (CMD): 439 •Fire fighting (CMD): One Time Requirement

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	Sale Building: 500 KL Public parking facility: 300 KL Wet Season: •Fresh water (CMD): 271 Domestic: From M.C.G.M. = 228 + From RWH tanks = 20 For Swimming pool : From tanker water of potable quality = 23 •Recycled water (CMD): 127(STP Treated sewage for flushing) •Total Water Requirement (CMD): 398 •Fire fighting (CMD): One Time Requirement Sale Building: 500 KL Public parking facility: 300 KL
Rain Water Harvesting (RWH)	•Level of the Ground water table: Between 0.3m to 2.0m below ground level •Size and no. of RWH tank(s) and Quantity: 1 RWH tank of capacity 112 KL •Location of the RWH tank(s): Underground •Size, no. of recharge pits and Quantity: Nil •Budgetary allocation (Capital cost and O&M cost): Capital cost: 11.20 Lacs O & M cost: 0.56 Lacs/annum
UGT tanks	• Location(s) of the UGT tank(s): 3rd Basement
Storm water drainage	•Natural water drainage pattern The storm water collected through the storm water drains of adequate capacity will be discharged in to the municipal SWD. •Quantity of storm water: 0.624 m^3/sec •Size of SWD: Internal discharge points of 600 mm X 600 mm with slope 1:250
Sewage and Waste water	• Sewage generation (CMD): 325 • STP technology:MBBR ((Moving Bed Bio Reactor) • Capacity of STP (CMD): 360 • Location of the STP: Ground level •DG sets (during emergency): For essential backup Sale : 1 DG set of 1250 kVA Public parking facility: 1 DG set of 1250 kVA •Budgetary allocation (Capital cost and O&M cost) Capital cost: 68.34 Lacs O & M cost: 16.37 Lacs/annum
Solid Waste Management	Waste generation in the Pre Construction and Construction phase: • Waste generation: Excavated material shall be partly reused and partly shall be disposed to the authorized land fill site through the authorized contractor with permission from M.C.G.M. •Quantity of the top soil to be preserved: Nil •Disposal of the construction waste debris: Construction waste shall be partly reused and partly shall be disposed to authorized land fill site with the permission of M.C.G.M. Waste generation in the operation Phase: Dry waste (Kg/day): 367 Wet waste (Kg/day): 857

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<table>
<tr><td></td><td>E – waste (Kg/month): Not applicable
Hazardous waste (Kg/month):--
Biomedical waste (Kg/month) (If applicable): -- Not Applicable
STP Sludge (Dry sludge) (Kg/day): 49

Mode of Disposal of waste:
• Dry waste:
Non recyclable: To M.C.G.M.
Recyclable: To recyclers
• Wet waste: Composting in Eco-Biocompack Unit
• E - waste: Not applicable
• Hazardous waste: --
• Biomedical waste (If applicable):Not Applicable
• STP Sludge (Dry sludge): As manure

Area requirement:
Location(s) and total area provided for the storage and treatment of the solid waste:
Location: Ground floor
Area: 60 Sq. m.

Budgetary allocation (Capital cost and O&M cost)
Capital cost: Rs. 42.00 Lacs (Cost for treatment of biodegradable garbage by Eco Biocompack)
O & M cost: Rs. 1.00 Lacs/annum (Cost for treatment of biodegradable garbage by Eco Biocompack)</td></tr>
<tr><td>Green Belt Development</td><td>Total RG area:
RG area other than green belt (Please specify for playground, etc.) - Not Applicable

RG area under green belt (sq. m.):
• RG on the ground (sq. m.): 4,434.86 Sq. m.
• RG on the podium (sq. m.): Not Applicable
Additionally green area on podium (sq. m.): 3,318.16 Sq. m.

Plantation:
• Number and list of trees species to be planted in the ground RG: 225 Nos.
<table>
<tr><th>Sr. No.</th><th>Common Name</th><th>Botanical Name</th></tr>
<tr><td>1</td><td>Neem Tree</td><td>Azadiracta indica</td></tr>
<tr><td>2</td><td>Bahava</td><td>Cassia fistula</td></tr>
<tr><td>3</td><td>Karanj</td><td>Pongamia pinnata / glabra</td></tr>
<tr><td>4</td><td>Sitaphal</td><td>Annona squamosa</td></tr>
<tr><td>5</td><td>Arjun</td><td>Terminalia cuneata</td></tr>
<tr><td>6</td><td>Mango</td><td>Mangifera indica</td></tr>
<tr><td>7</td><td>Purple Butterfly Tree, Kanchan</td><td>Bauhinia purpurea</td></tr>
<tr><td>8</td><td>Copper pod</td><td>Peltophorum ferrugineum</td></tr>
<tr><td>9</td><td>Tamhan</td><td>Lagestromia speciosa</td></tr>
<tr><td>10</td><td>White Frangipani</td><td>Plumeria alba</td></tr>
<tr><td>11</td><td>Ramphal</td><td>Annona reticulata</td></tr>
</table></td></tr>
</table>

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	12 Chikku *Manilkara zapota* Number and list of shrub species to be planted in the podium RG: • Number and list of trees species to be planted around the border of nalla / stream / pond *(If any):* Not applicable • Number, size, age and species of trees to be cut, trees to be transplanted: Trees to be retained: 8 Nos. Trees to be cut: 3 Nos. • NOC for the Tree cutting / transplantation/ compensatory plantation, if any : *In process* Budgetary allocation (Capital cost and O&M cost) Capital cost: Rs. 42.64 Lacs O & M cost: Rs. 1.20 Lacs/annum
Energy	Power supply: •Connected Load : 16219 KW •Maximum Demand :6363 KW •Source: Brihanmumbai Electric Supply and Transport (BEST) Energy saving by non-conventional method: 20 KW solar powered lighting to be used for staircase lighting Use of T-5 Fittings (28 w) and Electronic ballasts instead of fluorescent light fittings (40w) and copper ballasts Use of use BEE five star certified appliance and air conditioners Use of BEE certified motors Use of group controls and variable speed drives Daylight based controls Use of CO sensors for demand based ventilation •Detail calculations & % of saving: % Savings (Conventional energy Savings systems):22 % % Savings Through Renewable energy Savings systems:8% •Compliance of the ECBC guidelines: (Yes / No) (If yes then submit compliance in tabular form): Yes •Budgetary allocation (Capital cost and O&M cost): Capital cost: Rs. 60.00 Lacs (Solar system) O & M cost: Rs. 3.00 Lacs/annum (Solar system) DG Set: •Number and capacity of the DG sets to be used: For emergency back up during power failure Sale : 1 DG set of 1250 kVA Public parking facility: 1 DG set of 1250 kVA •Type of fuel used: Diesel
Environmental Management Plan Budgetary Allocation	Construction phase (with Break-up): •Capital cost •O & M cost (Please ensure manpower and other details)

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Total cost incurred for EMP

Sr. No.	Component	Description	Total Cost (Rs. In Lacs)
1	Air Environment	Dust suppression	14.40
		Air & Noise monitoring	4.40
		Sensors for air & noise quality monitoring	10.00
		Batching Plant monitoring	1.0
2	Water Environment	Drinking water analysis	0.90
3	Land Environment	Site Sanitation	5.00
4	Health & Hygiene Environment	Disinfection- Pest Control	6.00
		Health Check up of workers	90.00
5	Cost towards Disaster Management	--	2404.40
	Total Cost		2536.1

Operation Phase (with Break-up) -
•Capital cost
•O&M cost (Please ensure manpower and other details)

Sr. No.	Component		Description	Capital cost Rs. In lacs.	Operational and Maintenance cost (Rs. in lacs/yr)
1	Air, Noise Environment & Biological Environment		Cost for Gardening	42.64	1.20
			Cost for Ambient air & Noise Monitoring	*No set up cost is involved	0.44
			Cost for DG Stack Exhaust Monitoring	*No set up cost is involved	0.10
			Cost for air cleaning system	150.00	--
2	Water Environment	Waste water treatment	Cost for sewage Treatment Plant	68.44	16.37
			Cost for Waste water Monitoring	18.00	1.09
		Water Conserv	Cost for RWH tank	11.20	0.56

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			ation (Rain Water Harvesting System)	Cost for treatment unit for rain water	9.00	0.01
				Cost for Rainwater Monitoring	*No set up cost is involved	0.05
	3	Land Environment (Solid Waste Management)		Cost for Treatment of biodegradable garbage in Eco Biocompack	42.00	1.00
				Cost for monitoring of organic manure	*No set up cost is involved	0.08
	4	Energy Conservation		Solar system for external lighting	60.00	3.00
	5	Cost towards Disaster Management		--	3989.00	163.20
	Total Cost				4390.28	187.1
	• Quantum and generation of Corpus fund and Commitment: Project proponent shall operate and maintain EMF for 5 years after giving possession and shall also generate corpus fund during 5 years for O & M of Rs. 935.5 lacs (i.e. 187.1 lacs x 5 years) • Responsibility for further O &M: Corpus fund shall be handed over to the society. While handing over Environmental Management Facilities M.O.U. shall be made with society to accept responsibility of further O & M of EMF.					
Traffic Management	Nos. of the junction to the main road & design of confluence: : Separate entry & exit to Residential & public parking facility Parking details: •Number and area of basement: 3 Basements •Number and area of podia: 5 podia •Total Parking area: Captive parking: 45,087.58 Sq. m. Public parking: 45,170.00 Sq. m. (To be handed over to MCGM including Parking and other services) •Area per car: Captive parking: 38 Sq. m. •2-Wheeler: 309 Nos. •4-Wheeler: Captive parking: 1188 Nos. Public parking: 658 Nos. •Public Transport: Nil Width of all internal roads (m): Minimum 6.0 m to 9.0 m.					
CRZ/RRZ clearance obtain, if any	Not applicable					
Distance from Protected Areas / Critically Polluted areas / Eco-sensitive areas / inter-State	Not Applicable					

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boundaries	

3. The proposal has been considered by SEIAA in its 99th meeting & decided to accord environmental clearance to the said project under the provisions of Environment Impact Assessment Notification, 2006 subject to implementation of the following terms and conditions :

General Conditions for Pre- construction phase:-

(i) This environmental clearance is issued subject to land use verification. Local authority / planning authority should ensure this with respect to Rules, Regulations, Notifications, Government Resolutions, Circulars, etc. issued if any. Judgments/orders issued by Hon'ble High Court, Hon'ble NGT, Hon'ble Supreme Court regarding DCR provisions, environmental issues applicable in this matter should be verified. PP should submit exactly the same plans appraised by concern SEAC and SEIAA. If any discrepancy found in the plans submitted or details provided in the above para may be reported to environment department. This environmental clearance issued with respect to the environmental consideration and it does not mean that State Level Impact Assessment Authority (SEIAA) approved the proposed land use.

(ii) E-waste shall be disposed through Authorized vendor as per E-waste (Management and Handling) Rules, 2011.

(iii) Vertical pits to be provided for better ventilation and lighting upto 3rd basement outside the building line.

(iv) Fire Staircase and fire lift shall not to go to the basement and shall terminate on the ground floor only.

(v) No services should be loaded and no electrical control room be provided in the basement.

(vi) This environmental clearance is issued subject to obtaining NOC from Forestry & Wild life angle including clearance from the standing committee of the National Board for Wild life as if applicable & this environment clearance does not necessarily implies that Forestry & Wild life clearance granted to the project which will be considered separately on merit.

(vii) PP has to abide by the conditions stipulated by SEAC& SEIAA.

(viii) The height, Construction built up area of proposed construction shall be in accordance with the existing FSI/FAR norms of the urban local body & it should ensure the same along with survey number before approving layout plan & before according commencement certificate to proposed work. Plan approving authority should also ensure the zoning permissibility for the proposed project as per the approved development plan of the area.

(ix) "Consent for Establishment" shall be obtained from Maharashtra Pollution Control Board under Air and Water Act and a copy shall be submitted to the Environment department before start of any construction work at the site.

(x) All required sanitary and hygienic measures should be in place before starting construction activities and to be maintained throughout the construction phase.

General Conditions for Construction Phase-

(i) Provision shall be made for the housing of construction labour within the site with all necessary infrastructure and facilities such as fuel for cooking, mobile toilets,

mobile STP, safe drinking water, medical health care, crèche and First Aid Room etc.

(ii) Adequate drinking water and sanitary facilities should be provided for construction workers at the site. Provision should be made for mobile toilets. The safe disposal of wastewater and solid wastes generated during the construction phase should be ensured.

(iii) The solid waste generated should be properly collected and segregated. dry/inert solid waste should be disposed off to the approved sites for land filling after recovering recyclable material.

(iv) Disposal of muck during construction phase should not create any adverse effect on the neighboring communities and be disposed taking the necessary precautions for general safety and health aspects of people, only in approved sites with the approval of competent authority.

(v) Arrangement shall be made that waste water and storm water do not get mixed.

(vi) All the topsoil excavated during construction activities should be stored for use in horticulture / landscape development within the project site.

(vii) Additional soil for leveling of the proposed site shall be generated within the sites (to the extent possible) so that natural drainage system of the area is protected and improved.

(viii) Green Belt Development shall be carried out considering CPCB guidelines including selection of plant species and in consultation with the local DFO/ Agriculture Dept.

(ix) Soil and ground water samples will be tested to ascertain that there is no threat to ground water quality by leaching of heavy metals and other toxic contaminants.

(x) Construction spoils, including bituminous material and other hazardous materials must not be allowed to contaminate watercourses and the dumpsites for such material must be secured so that they should not leach into the ground water.

(xi) Any hazardous waste generated during construction phase should be disposed off as per applicable rules and norms with necessary approvals of the Maharashtra Pollution Control Board.

(xii) The diesel generator sets to be used during construction phase should be low sulphur diesel type and should conform to Environments (Protection) Rules prescribed for air and noise emission standards.

(xiii) The diesel required for operating DG sets shall be stored in underground tanks and if required, clearance from concern authority shall be taken.

(xiv) Vehicles hired for bringing construction material to the site should be in good condition and should have a pollution check certificate and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.

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(xv) Ambient noise levels should conform to residential standards both during day and night. Incremental pollution loads on the ambient air and noise quality should be closely monitored during construction phase. Adequate measures should be made to reduce ambient air and noise level during construction phase, so as to conform to the stipulated standards by CPCB/MPCB.

(xvi) Fly ash should be used as building material in the construction as per the provisions of Fly Ash Notification of September 1999 and amended as on 27th August, 2003. (The above condition is applicable only if the project site is located within the 100Km of Thermal Power Stations).

(xvii) Ready mixed concrete must be used in building construction.

(xviii) The approval of competent authority shall be obtained for structural safety of the buildings due to any possible earthquake, adequacy of firefightingequipment's etc. as per National Building Code including measures from lighting.

(xix) Storm water control and its re-use as per CGWB and BIS standards for various applications.

(xx) Water demand during construction should be reduced by use of pre-mixed concrete, curing agents and other best practices referred.

(xxi) The ground water level and its quality should be monitored regularly in consultation with Ground Water Authority.

(xxii) The installation of the Sewage Treatment Plant (STP) should be certified by an independent expert and a report in this regard should be submitted to the MPCB and Environment department before the project is commissioned for operation. Discharge of this unused treated affluent, if any should be discharge in the sewer line.Treated effluent emanating from STP shall be recycled/refused to the maximum extent possible. Discharge of this unused treated affluent, if any should be discharge in the sewer line.Treatment of 100% gray water by decentralized treatment should be done. Necessary measures should be made to mitigate the odour problem from STP.

(xxiii) Permission to draw ground water and construction of basement if any shall be obtained from the competent Authority prior to construction/operation of the project.

(xxiv) Separation of gray and black water should be done by the use of dual plumbing line for separation of gray and black water.

(xxv) Fixtures for showers, toilet flushing and drinking should be of low flow either by use of aerators or pressure reducing devices or sensor based control.

(xxvi) Use of glass may be reduced up to 40% to reduce the electricity consumption and load on air conditioning. If necessary, use high quality double glass with special reflective coating in windows.

(xxvii) Roof should meet prescriptive requirement as per Energy Conservation Building Code by using appropriate thermal insulation material to fulfill requirement.

(xxviii) Energy conservation measures like installation of CFLs /TFLs for the lighting the areas outside the building should be integral part of the project design and should be in place before project commissioning. Use CFLs and TFLs should be properly collected and disposed off/sent for recycling as per the prevailing guidelines/rules of the regulatory authority to avoid mercury contamination. Use of solar panels may be done to the extent possible like installing solar street lights, common solar water heaters system. Project proponent should install, after checking feasibility, solar plus hybrid non-conventional energy source as source of energy.

(xxix) Diesel power generating sets proposed as source of backup power for elevators and common area illumination during operation phase should be of enclosed type and conform to rules made under the Environment (Protection) Act, 1986. The height of stack of DG sets should be equal to the height needed for the combined capacity of all proposed DG sets. Use low sulphur diesel. The location of the DG sets may be decided with in consultation with Maharashtra Pollution Control Board.

(xxx) Noise should be controlled to ensure that it does not exceed the prescribed standards. During nighttime the noise levels measured at the boundary of the building shall be restricted to the permissible levels to comply with the prevalent regulations.

(xxxi) Traffic congestion near the entry and exit points from the roads adjoining the proposed project site must be avoided. Parking should be fully internalized and no public space should be utilized.

(xxxii) Opaque wall should meet prescriptive requirement as per Energy Conservation Building Code, which is proposed to be mandatory for all air-conditioned spaces while it is aspiration for non-air-conditioned spaces by use of appropriate thermal insulation material to fulfill requirement.

(xxxiii) The building should have adequate distance between them to allow movement of fresh air and passage of natural light, air and ventilation.

(xxxiv) Regular supervision of the above and other measures for monitoring should be in place all through the construction phase, so as to avoid disturbance to the surroundings.

(xxxv) Under the provisions of Environment (Protection) Act, 1986, legal action shall be initiated against the project proponent if it was found that construction of the project has been started without obtaining environmental clearance.

(xxxvi) Six monthly monitoring reports should be submitted to the Regional office MoEF, Bhopal with copy to this department and MPCB.

General Conditions for Post- construction/operation phase-

(i) Project proponent shall ensure completion of STP, MSW disposal facility, green belt development prior to occupation of the buildings.As agreed during the SEIAA meeting. PP to explore possibility of utilizing excess treated water in the adjacent area

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for gardening before discharging it into sewer line No physical occupation or allotment will be given unless all above said environmental infrastructure is installed and made functional including water requirement in Para 2. Prior certification from appropriate authority shall be obtained.

(ii) Wet garbage should be treated by Organic Waste Converter and treated waste (manure) should be utilized in the existing premises for gardening. And, no wet garbage will be disposed outside the premises. Local authority should ensure this.

(iii) Local body should ensure that no occupation certification is issued prior to operation of STP/MSW site etc. with due permission of MPCB.

(iv) A complete set of all the documents submitted to Department should be forwarded to the Local authority and MPCB.

(v) In the case of any change(s) in the scope of the project, the project would require a fresh appraisal by this Department.

(vi) A separate environment management cell with qualified staff shall be set up for implementation of the stipulated environmental safeguards.

(vii) Separate funds shall be allocated for implementation of environmental protection measures/EMP along with item-wise breaks-up. These cost shall be included as part of the project cost. The funds earmarked for the environment protection measures shall not be diverted for other purposes and year-wise expenditure should reported to the MPCB & this department.

(viii) The project management shall advertise at least in two local newspapers widely circulated in the region around the project, one of which shall be in the Marathi language of the local concerned within seven days of issue of this letter, informing that the project has been accorded environmental clearance and copies of clearance letter are available with the Maharashtra Pollution Control Board and may also be seen at Website at http://ec.maharashtra.gov.in.

(ix) Project management should submit half yearly compliance reports in respect of the stipulated prior environment clearance terms and conditions in hard & soft copies to the MPCB & this department, on 1st June & 1st December of each calendar year.

(x) A copy of the clearance letter shall be sent by proponent to the concerned Municipal Corporation and the local NGO, if any, from whom suggestions/representations, if any, were received while processing the proposal. The clearance letter shall also be put on the website of the Company by the proponent.

(xi) The proponent shall upload the status of compliance of the stipulated EC conditions, including results of monitored data on their website and shall update the same periodically. It shall simultaneously be sent to the Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB. The criteria pollutant levels namely; SPM, RSPM. SO_2, NOx (ambient levels as well as stack emissions) or critical sector parameters, indicated for the project shall be monitored and displayed at a convenient location near the main gate of the company in the public domain.

(xii) The project proponent shall also submit six monthly reports on the status of compliance of the stipulated EC conditions including results of monitored data (both in hard copies as well as by e-mail) to the respective Regional Office of MoEF, the respective Zonal Office of CPCB and the SPCB.

(xiii) The environmental statement for each financial year ending 31st March in Form-V as is mandated to be submitted by the project proponent to the concerned State Pollution Control Board as prescribed under the Environment (Protection) Rules, 1986, as amended subsequently, shall also be put on the website of the company along with the status of compliance of EC conditions and shall also be sent to the respective Regional Offices of MoEF by e-mail.

4. The environmental clearance is being issued without prejudice to the action initiated under EP Act or any court case pending in the court of law and it does not mean that project proponent has not violated any environmental laws in the past and whatever decision under EP Act or of the Hon'ble court will be binding on the project proponent. Hence this clearance does not give immunity to the project proponent in the case filed against him, if any or action initiated under EP Act.

5. In case of submission of false document and non-compliance of stipulated conditions, Authority/ Environment Department will revoke or suspend the Environmental Clearance without any intimation and initiate appropriate legal action under Environmental Protection Act, 1986.

6. The Environment department reserves the right to add any stringent condition or to revoke the clearance if conditions stipulated are not implemented to the satisfaction of the department or for that matter, for any other administrative reason.

7. **Validity of Environment Clearance**: The environmental clearance accorded shall be valid for a period of 7 years as per MoEF&CC Notification dated 29th April, 2015.

8. In case of any deviation or alteration in the project proposed from those submitted to this department for clearance, a fresh reference should be made to the department to assess the adequacy of the condition(s) imposed and to incorporate additional environmental protection measures required, if any.

9. The above stipulations would be enforced among others under the Water (Prevention and Control of Pollution) Act, 1974, the Air (Prevention and Control of Pollution) Act, 1981, the Environment (Protection) Act, 1986 and rules there under, Hazardous Wastes (Management and Handling) Rules, 1989 and its amendments, the public Liability Insurance Act, 1991 and its amendments.

10. Any appeal against this environmental clearance shall lie with the National Green Tribunal (Western Zone Bench, Pune),New Administrative Building, 1st Floor, D-, Wing, Opposite Council Hall, Pune, if preferred, within 30 days as prescribed under Section 16 of the National Green Tribunal Act, 2010.

(S. M. Gavai)
Member Secretary, SEIAA

Copy to:

1. Shri. Johny Joseph, Chairman,IAS (Retd.). SEAC-II, office of the Lokayukta and New Up- Lokayukta, New Administrative Building, 1st floor, Madam Cama Road, Mumbai.

2. Additional Secretary, MOEF, 'MoEF& CC, Indira Paryavaran Bhavan, Jorbagh Road, Aliganj, New Delhi-110003.

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3. The CCF, Regional Office, Ministry of Environment and Forest (Regional Office, Western Region, Kendriya Paryavaran Bhavan, Link Road No- 3, E-5, Ravi-Shankar Nagar, Bhopal- 462 016). (MP).

4. IA- Division, Monitoring Cell, MoEF& CC, Indira Paryavaran Bhavan, Jorbagh Road, Aliganj, New Delhi-110003.

5. Managing Director, MSEDCL, MG Road, Fort, Mumbai

6. Collector, Mumbai.

7. Commissioner, Municipal Corporation Greater of Mumbai (MBMC)

8. Member Secretary, Maharashtra Pollution Control Board, with request to display a copy of the clearance.

9. Regional Office, MPCB, Mumbai.

10. Select file (TC-3)

(EC uploaded on)

Annexure 02: IOD Certificate

BMPP-16455-2013-14-5,000 Forms (4 Pages F/B) EC-48

Form 346 / 88 — in replying please quote No. and date of this letter.

Intimation of Disapproval under Section 346 of the Mumbai Municipal Corporation Act, as amended up to date.

EB/7365/FN/A.

Ex. Engg. Bldg. Proposal (City) - II
New ... C. S. No.355 B,
Bhagwan ... Yadgyanankar Marg,
Opp. M. ...
Salt Pan Road, Antophill, Wadala (East)
Mumbai - 400 037.

No. E.B./CE/ BS/A of 2014-2015

MEMORANDUM

The Owner,
Shri Deepak Goradia,
M/s Dosti Realty Ltd. Lawrence &
Meyo House, D.N.Road, Fort,
Mumbai – 400 001.

Municipal Office,
Mumbai 24/9/15.20

With reference to your Notice, letter No. 005843 dated 07.11.2014 20 and delivered on 17.11.2014 20 and the plans, Sections Specifications and Description and further particulars and details of your buildings at Proposed building on plot bearing C. S. No. 2A/116 & 4/116 of Salt Pan division and 4/356 of Matunga Division in F/North Ward, at Wadala, Mumbai furnished to me under your letter, dated ..... 20..... I have to inform you that I cannot approval of the building or work proposed to be erected or executed, and I therefore hereby formally intimate to your, under Section 346 of the Bombay Municipal Corporation Act as amended upto-date, my disapproval by thereof reasons :-

A) THAT THE FOLLOWING CONDITIONS TO BE COMPLIED WITH BEFORE COMMENCEMENT OF THE WORK UPTO PLINTH LEVEL.

1. That the commencement certificate under Section 44/69(1)(a) of the M.R.T.P. Act will not be obtained before starting the proposed work.
2. That the builder / developer / owner shall not prepare a "debris management plan" showing the prospective quantum of debris likely to be generated, arrangements for its proper storage at the site, transportation plan of the agency appointed for the same, with numbers and registration numbers of vehicles to be deployed and the final destination where the debris would be unloaded by them and submit the same to the Zonal Executive Engineer of S.W.M. Department and the same shall not be got approved before demolition of existing building or commencing any construction activity.
3. That the compound wall is not constructed on all sides of the plot clear of the road widening line with foundation below level of bottom of road side drain without obstructing the flow of rain water from the adjoining holding to prove possession of holding before starting the work as per D.C. Regulation No.38(27).
4. That the low lying plot will not be filled up to a reduced level of at least 92 T.H.D. or 6" above adjoining road level whichever is higher with murum, earth, boulders, etc. and will not be leveled, rolled, consolidated and sloped towards road side, before starting the work.

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No. EB/7365/FN/A dt 24/9/15

Contd... (A).

5. That the specifications for layout/ D.O./or access roads/ development of setback land will not be obtained from E.E. Road (Construction) (City) before starting construction work and the access and setback land will not be developed accordingly including providing street lights and S.W.D., the completion certificate will not be obtained from E.E.(R.C.)/ E.E.(S.W.D.) of City before submitting building completion certificate.

6. That the structural engineer will not be appointed. Supervision memo as per Appendix-XI [Regulation 5(3)(ix)] will not be submitted by him.

7. That the structural design and calculations for the proposed work accounting for seismic analysis as per relevant I.S. Code and for existing building showing adequacy thereof to take up additional load alongwith bearing capacity of the soil strata will not be submitted before C.C.

8. That the regular/sanctioned/proposed lines and reservation will not be got demarcated at site through A.E.(Survey)/ E.E.(T&C)/ E.E.(D.P.)/ D.I.L.R. before applying for C.C.

9. That the sanitary arrangements shall not be carried out as per Municipal Specifications, and drainage layout will not be submitted before C.C.

10. That the Registered Undertaking and additional copy of plan shall not be submitted for agreeing to hand over the setback land free of compensation and that the setback handing over certificate will not be obtained from Ward officer before demanding C.C. and that the ownership of the setback land will not be transferred in the name of M.C.G.M. before C.C.

11. That the Indemnity Bond, indemnifying the Corporation for damages, risks, accidents, to the occupiers and an Undertaking regarding no nuisance will not be submitted before C.C./starting the work.

12. That the basement will not comply with the Basement Rules and Regulation and Registered Undertaking for not misusing the basement will not be submitted before C.C.

13. That the conditions mentioned in the release letter of E.E.D.P. under No. CHE/7665/DCP dated 29.09.2014 will not be complied with.

14. That the qualified/Registered Site supervisor through Architect/Structural Engineer will not be appointed before applying for C.C.

15. That All Dues Clearance Certificate from A.E.W.W. F/N Ward shall not be submitted before issue of C.C.

16. That the premium/deposits as follows will not be paid -
    a. Staircase / Lift area benefit.
    b. Deposit for basement
    c. Development charges as per M.R.& T.P.(Amendment) Act,1992

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d. Insecticide charges.
e. Payment of advance for providing treatment of construction site to prevent epidemic like dengue, malaria etc. to insecticide charges ' ' Ward
f. Labour Welfare Cess
g. Pay difference of PPL to MCGM / UD.

17. That the registered undertaking in prescribed proforma agreeing to demolish the excess area if constructed beyond permissible F.S.I. shall not be submitted before asking for C.C.

18. That the work will not be carried out strictly as per approved plan and in conformity with the D.C.Regulations in force.

19. That the N.O.C. from Tree authority shall not be submitted before asking for plinth C.C.

20. That the Registered Undertaking shall not be submitted for agreeing to pay the difference in premium paid and calculated as per revised land rates.

21. That the Janata Insurance policy or policy to cover the compensation claims arising out of Workmen's Compensation Act,1923 will not be taken out and a copy of the same will not be submitted before asking C.C. and renewed during the construction of work and owner / developer should submit revalidated Janata Insurance Policy from time to time.

22. That the N.O.C. from B.E.S.T. for sub station shall not be submitted.

23. That the fresh Tax Clearance Certificate from A.A. & C 'F/N' Ward shall not be submitted.

24. That letter from M.B.R& R. Board confirming the exact surplus area to be surrendered to M.B.R& R. Board shall not be submitted and amended plans shall not be submitted and got approved accordingly.

25. That the Regd. U/T against misuse of part terrace / stilt shall not be submitted.

26. That the footpath in front of plot shall not be repaired / restored once in a year or before occupation whichever is earlier.

27. That the Indemnity Bond indemnifying M.C.G.M. against disputes, litigations, claims, arising out of ownership of plot shall not be submitted.

28. That the registered Power of Attorney shall not be submitted.

29. That the remarks from H.E. Department shall not be submitted.

30. That the debris shall not be dumped on the Municipal ground only.

31. That the board displaying the details of development of the work shall not be displayed at site.

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32. That the necessary remarks for construction of SWD will not be obtained from Dy.Ch.Eng.(S.W.D.) City and Central Cell before asking for plinth C.C.

33. That the N.O.C. from Dy.Ch.E.(S.P.) P&D for STP shall not be submitted before C.C.

34. That the plot boundary shall not be got demarcated from C.S.L.R. and demarcation certificate shall not be submitted to this office.

35. That the precautionary measures to avoid dust nuisance such as erection of G.I. sheet screens at plot boundaries upto reasonable height shall not be provided before demolition of existing structures at site.

36. That the construction activity for work of necessary piling shall not be carried out by employing modern techniques such as rotary drilling, micropiling etc. instead of conventional jack and hammer to avoid nuisance damage to adjoining buildings.

37. That the requisite Bank Guarantee for faithful Compliance of various conditions shall not be submitted before C.C.

38. That the agreement with M.C.G.M. agreeing so comply the conditions of D.P. permission letter U/No. CHE/7665/DCF dated 29.09.2014 shall not be submitted before C.C.

39. That Regd. U/T for minimum Nuisance during construction activity shall not be submitted before C.C.

40. That the work shall not be carried out between 7.00 A.M. to 7.00 P.M. only.

41. That the G.I.Sheet screens at plot boundares upto adequate height to avoid dust nuisance shall not be provided before demolition of existing building.

42. That the precautionary measures to avoid nuisance due to dust, such as providing G.I. Sheets at plot boundaries up to reasonable height shall not be taken.

43. That the C.C. shall not be asked unless payment of advance for providing treatment at construction site to prevent epidemics like Dengue, Malaria, etc. is made to the Insecticide Officer of the concerned Ward Office and provision shall be made as and when required by Insecticide Officer for Inspection of water tanks by providing safe and stable ladder, etc. and requirements as communicated by the Insecticide Officer shall be complied with.

44. No main beam in a R.C.C. framed structure shall not be less than 230 mm wide. The size of the columns shall also not be governed as per the applicable I.S. codes.

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45. All the cantilevers (Projections) shall not be designed for five times the load as per IS Code 1993-2002 including the columns projecting beyond the terrace and carrying the overhead water storage tank, etc.

46. In R.C.C. framed structures, the external wals shall not be less than 230 mm if in brick masonry or 150 mm. autoclaved cellular concrete block excluding plaster thickness as circulated under No. CE/PD/11945/I of 2.2.2006.

47. That the remarks regarding formation level from Road Department shall not be submitted.

48. That the specification & design of Rain Water Harvesting scheme as per the State Govt.'s directives u/No.TPB-4307/396/CR-124/2007/UD-11 dated 6th June 2007 shall not be submitted.

49. That the requisition of clause No. 45 and 46 of D.C. Regn. 91 shall not be complied with and records of quality of work, verification of report shall not be kept on site till completion of work.

50. That the feasibility of providing the basement from Geologist on the plot under reference shall not be submitted.

51. That the Regd. Undertaking shall not be submitted by the Owner / Developer / Builder to sell the tenements / flats on carpet area basis only and to abide by the provisions of Maharashtra Ownership Flats (Regulation of the promotion of construction, sale management and transfer) Act (MOFA) amended up to date and the Indemnity Bond indemnifying the M.C.G.M. and its Officers from any legal complications arising due to MOFA will not be submitted.

52. That the registered Private Pest Control Agency for providing anti larval treatment at the construction site shall be appointed.

53. That the amenity plot shall not be handed over to MCGM & separate P.R. Card in name of MCGM is not made till which the C.C. shall not be restricted to 50% of permissible built up area.

54. That the revalidation of D.P. Release letter will not be submitted.

55. That the C.C. will not be restricted for 50% incentive FSI until PPL is not handed over to MCGM.

56. That the NOC from Ch.Eng. (M & E) for Light & Ventilation of basement and W.C. / Bath / Toilet abutting the internal passage shall not be submitted.

57. That the Regd. Undertaking from Developer / Owner for handing over Society Office to Society / Association shall not be submitted.

58. That specific NOC from H.E. for swimming pool on 5th topmost podium level shall not be submitted.

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59. The C.C. will not be restricted up to covered built up area of 20,000 sq.mt. until submission of M.O.E.F. N.O.C.

60. That the Regd. Undertaking from Developer for payment of additional premium for PPL as and when required shall not be submitted.

61. That the N.O.C. from Director of Industries shall not be submitted.

(B) THE FOLLOWING CONDITIONS TO BE COMPLIED WITH BEFORE FURTHER C.C. OF SUPER STRUCTURE :

1. That N.O.C. from Civil Aviation Department will not be obtained for the proposed height of the building.

2. That the plinth dimensions shall not be got checked from this office before asking for further C.C. beyond plinth.

3. That the Structural stability certificate through Regd. Structural Ergineer regarding stability of constructed plinth shall not be submitted before asking for C.C. beyond plinth.

4. That the design of road crust and construction of roads upto sub base level shall not be submitted.

5. That the construction of road including storm water drain and footpath shall not be constructed.

6. That the compliance of necessary remarks for training of nalla / construction of SWD will not be submitted before granting full C.C. for the said building.

7. That all the structural members below the ground shall be designed considering the effect of chlorinated water, sulphar water, seepage water, etc. and any other possible chemical effect ard due care while constructing the same will be taken and completion certificate to that effect shall not be submitted before granting further C.C. beyond plinth.

(C) THE FOLLOWING GENERAL CONDITIONS TO BE COMPLIED WITH BEFORE GRANTING O.C.C. TO ANY PART OF THE PROPOSED BUILDING :

1. That the separate vertical drain pipe, soil pipe with a separate gully trap, water main, O.H. Tank etc. for Maternity Home/Nursing Home, user will not be provided and the drainage system or the residential part of the building will not be affected.

2. That some of the drains will not be laid internally with C.I. Pipes.

3. That 10% flats (72 Nos. of), as per release letter from E.E.D.P. under reference No. CHE/800/DPC dated 16.06.2011 shall not be handed over before asking for occupation/B.C.C.

4. That the dust-bin will not be provided as per C.E.'s circular No.CE/9297/II of 26-6-1978.

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5. That the surface drainage arrangement will not be made in consultation with E.E.(SWD) or as per his remarks and a completion certificate will not be obtained and submitted before applying for occupation certificate/B.C.C.

6. That 10'-0" wide paved pathway upto staircase will not be provided.

7. That the surrounding open spaces, parking spaces and terrace will not be kept open and un-built upon and will not be leveled and developed before requesting to grant permission to occupy the building or submitting the B.C.C. whichever is earlier.

8. That the name plate/Beard showing Plot No., name of the building etc. will not be displayed at a prominent place.

9. That carriage entrance shall not be provided.

10. That the parking spaces shall not be provided as per D.C. Regulation No.36.

11. That B.C.C. will not be obtained and I.O.D. and debris deposit etc. will not be claimed for refund within a period of 6 years from the date of its payment.

12. That the N.O.C. from Inspector of Lifts, P.W.D., Maharashtra, will not be obtained and submitted to this office.

13. That the Drainage completion certificate from (S.P.)(P&D)City for provision of Septic Tank/Soak pit will not be submitted.

14. That the Drainage completion Certificate from A.E.(B.P) City for House drain will not be submitted & got accepted.

15. That every part of the building construction and more particularly overhead tank will not be provided as with the proper access for the staff of Insecticide Officer with a provision of temporary but safe and stable ladder etc.

16. That the compliance of N.O.C. from H.E will not be made and certificate to that effect will not be submitted.

17. That the vermiculture bins for the disposal of wet waste as per design and specifications of organization or companies specialized in this field as per list furnished by Solid waste Management of M.C.G.M. shall not be provided.

18. That the installation of Rain Water Harvesting scheme as per the State Govt.'s directives U/No. TPB-4307/396/CR-124/2007/UD-11 dated 6th June 2007 shall not be provided before applying for occupation permission.

19. That the completion of footpath, providing central dividers, lane marking and providing steel furniture shall not be completed.

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(8)

(D) THE FOLLOWING CONDITIONS TO BE COMPLIED WITH BEFORE B.C.C.:

1. That certificate under Section 270-A of M.M.C. Act will not be obtained from H.E.'s Department regarding adequacy of water supply.

24/09/15
Executive Engineer
Building Proposals (City)-II

9   2

( ) That proper gutters and downpipes are not intended to beput to prevent water dropping from the leaves of the roof on the public street.

( ) That the drainage work generally is not intended to beexecuted in accordance with the Municipal requirements.

Subject to your so modifying your intention as to obviate the before mentioned objections and meet by requirements, but not otherwise you will be at liberty to proceed with the said building or work at anytime before the ....23rd........... day of Sept-2016... ~~200~~ , but not so as to contravance any of the provision of the said Act, as amended as aforesaid or any rule, regulations or bye-law made under that Act at the time In force.

Your attention is drawn to the Special Instructions and Note accompanying this Intimation of Disapproval.

sd/-

Executive Engineer, Building Proposals,
Zone, City-II Wards.

SPECIAL INSTRUCTIONS

(1) THIS INTIMATION GIVES NO RIGHT TO BUILD UPON GROUND WHICH IS NOT YOUR PROPERTY.

(2) Under Section 68 of the Bombay Municipal Corporation Act as amended, the Municipal Commissioner for Greater Mumba has empowred the City Engineer to exercise, perform and discharge the powers, duties and functions conferred and inposed upon and vested inthe Commissioner by Section 346 of the said Act.

(3) ~~Under Byelaw, No. 8 of the Commissioner has fixed the following levels~~ xxxxxxx

~~Every person who shall erect a new building shall cause the same to be built so that every part of the plinth shall be—~~

~~(a) Not less than 2 feet (60 cms.) above the centre of the adjoining street at the nearest point at which the drain from such building can be connected with the sewer then existing or thereafter to be laid in such street.~~ xxxx

~~(b) Not less than 2 feet (60 cms.) above every portion of the ground within 5 feet (160 cms.) of~~ such building.

~~(c) Not less than 92 ft. ( ) meters above Town Hall Datum.~~ xxxxxxx

(4) Your attention is invited to the provision of Section 152 of the Act whereby the person liable to pay property taxes is required to give notice of erection of a new building or occupation of building which has been vacant, to the Commissioner, within fifteen days of the completion or of the occupation whichever first occurs. Thus compliance with this provision is punishable under Section 471, of the Act irresecpective of the fact that the valuation of the premises will be liable to be revised under Section 167 of the Act from the earliest possible date in the current year in which the completion on occupation is detected by the Assessor and Collector's Department.

(5) Your attention if further drawn to the provision of Section 353-A about the necessary of submitting occupation certificate with a view to enable the Municipal Commissioner for Greater Mumbai to inspect your permises and to grant a permission before occupation and to leavy penalty for non-compliance under Section 471 if necessary.

(6) Proposed date of commencement of work should be communicated as per requirements of Section 347 (1) (*aa*) of the Bombay Municipal Corporation Act.

(7) Onemore copy of the block plan should be submitted for the Collector, Mumbai Suburbs District.

(8) Necessary permission for Non-agricultural use of the land shall be obtained from the Collector Mumbai Suburban District before the work is started. The Non-agricultural assessment shall be paid at the site that may be fixed by the Collector, under the Land Revenue Code and Rules thereunder.

Attention is drawn to the notes Accompanying this Intimation of Disapproval.

(10)

No. EB/CE/ 7365 /BS FN /A/

NOTES

(1) The work should not be started unless objections are complied with

(2) A certified set of latest approved plans shall be displyed on site a the time of commencement the work and during the progress of the construction work.

(3) Temporary permission on payment of deposite should be obtained any shed to house and store for constructional purposes, Residence of workmen shall not be allowed on site. The temporary structures for storing constructional material shall be demolished before submission of building completion certificate and a certifcate signed by Architect submitted along with the buildng completion certificate.

(4) Temporary sanitary accommodation or full flusing system with necessary drainage arrangement should be provided on site workers, before starting the work.

(5) Water connection for constructional purpose will not be given until the hoarding is constructed and application made to the Ward Officer with the required deposite for the constuction of carriage entrance, over the road side drain.

(6) The owners shall intimate the Hydraulic Engineer or his representative in Wards atleast 15 days prior to the date of which the proposed construction work is taken in hand that the water existing in the compound will be utilised fortheir construction works and they will not use any Municipal Water for construction purposes. Failing this, it will be presume that Municipal tap water has been consumed on the construction works and bills preferred against them accordngly.

(7) The hoarding or screen wall for supporting the depots of building materials shall be constructed before starting any work even though no materials may be expected to be stabled in front of the property. The scaffoldings, bricks metal, sand preps debrics, etc. should not be deposited over footpaths or public street by the owner/ architect/their contractors, etc. withoutobtaining prior permissionfrom the Ward Officer of the area.

(8) The work should not be started unless the manner in obviating all the objection is approved by this department.

(9) No work should be started unless the structural design is approved.

(10) The work above plinth should not be started before the same is shown to this office Sub-Engineer concerned and acknowledgement obtained from him regarding correctness of the open spaces & dimension.

(11) The application for sewer street connections, if necessary, should be made simultaneously with commencement of the work as the Municipal Corporaton will require time to consider alternative site to avoid the excavation of the road an footpath.

(12) All the terms and conditions of the approved layout'sub-division under No. of should be adhered to and complied with.

(13) No Building/Drainage Completion Certificate will be accepted non water connection granted (except for the construction purposes) unless road is constructed to the satisfaction of the Municipal Commissioner as per the provision of Section 345 of the Bombay Municipal Corporation Act and as per the terms and conditions for sanction to the layout.

(14) Recreation ground or amenity open space should be developed before submission of Building Completion Certificate

(15) The acces road to the full width shall be constructed in water bound macadam before commencing work and should be complete to the satisfaction of Municipal Commissioner including asphalting lighting and drainage before subnition of the Building Completion Certificate.

(16) Flow of water through adjoining holding or culvert, if any should be maintained unobstructed.

(17) The surrounding open spaces around the building should be consolidated in Concrete having broke glass pieces at the rate of 12.5 cubic meters per 10 sq. meters below payment

(18) The compound wall or fencing shouldbe constructed clear of the road widening line with foundation below level of bottom of road side drain without obstructing flow of rain water from abjoining holding before starting the work to prove the owner's holding.

(19) No work should be started unless the existing structures proposed to be demolished are demolished.

(20) This Intimation of Disapproval is given exclusively for the purpose of enabling you to proceed further with the arrangements of obtaining No Objection Certificate from the Housing commissioner under Section 13 (*h*) (H) of the Rent Act and in the event of your proceeding with the work either without an inimation about commencing the work under Section 347 (1) (*aa*) or your starting the work without removing the structures proposed to be removed the act shall be taken as a severe breach of the conditions under which this Intimation of Disapproval is issued and the sanctioned will be revoked and the commencement certificate granted under Section 45 of the Maharashtra Regional and Town Planning Act, 1966, (12 of the Town Planning Act), wil be with drawn.

(21) If it is proposed to demolish the existing structures by negotiations with the tenants, under the circumstances, the work as per approved plans should not be taken up in hand unless the City Engineer is satisfied with the following :-

(*i*) Specife plans in respect of evicitirg or rehousing the existing tenants on hour stating their number and the area inoccupation of each.

(*ii*) Specifcally signed agreement between you and the existirg tenants that they are willing to avail or the alternative accommodation in the proposed structure at standard rent.

(*iii*) Plans showing the phased programme of construction has to be duly approved by this office before starting the work so as not to contravene a any stage of construction, the Development control Rules regarding open spaces, light and ventilation of existing structure.

(22) In case of exension to existing building, blocking of existing windows of rooms deriving light and its from other sides shoulc be done first before starting the work.

(23) In case of additional floor no work should be start or during monsoon which will same arise water leakage and consequent nuisance to the tenants staying on the floor below.

(24) the bottom of the over hand storage work above the finished level of the terrace shall not be more than 1 metre.

(25) The work should not be started above first floor level unless the No Objection Certificate from the Civil Aviation Authorities, where necessary is obtained.

(26) It is to be understood that the foundations must be excavated down to hard soil.

(27) The positions of the nahanis and other appurtenances in the building should be so arranged as not to necessitate the laying ofdrains inside the building.

(28) The water arrangement must be carried out in strict accordance with the Municipal requirements.

(29) No new well, tank, pond, cistern or fountain shall be dug or constructed without the previous permission in writing of the Municipal Commissioner for Greater Mumbai, as required in Section 381-A of the Municipal Corporation Act.

(30) All gully traps and open channel drains shall be provided with right fiing mosquito proof covers made of wrought iron plates or hinges. The manholes of all jisterns shall be covered with a properly fittingmosquito proof hinged cast iron cap over in one piece, with locking arrangement provided with a bolt and huge screwed on hightly serving the purpose of a lock and the warning pripes of the ribbet pretessed with screw or dome shape pieces (likea garden mari rose) with copper pipes with perfictions each not exceeding 1.5 mm. in diameter. the cistern shall be made easily, safely and permanently a ceasible by providing a firmly fixed iron ladder, the upper ends of the ladder should be earmarked and extended 40 cms. above the top where they are to be fixed an its lowerends in cement concrete blocks.

(31) No broken bottles should be fixed overboundary walls. This prohibition refers only to broker bottles to not to the use of plane glass for coping over compound wall.

(32) ~~(a) Lobviesshould be provided as reqtired by Bye-law No. 5 (b)~~

~~(b) Inlets & Arches should be provided over Door and Window opening.~~

~~(c) The drains should be taken as per under Section 360 (1) (a)~~

~~(d) Boundary walls should be plastered inside and outside.~~

(33) If the proposed aditional is intended to be carried out on old foundations and structures, you will do so at your own risk.

Executive Engineer, Building Proposals

Zones .....City-II.....*Wards.*

Annexure 03: Commencement Certificate & Revalidation Letter

C - 3

MUNICIPAL CORPORATION OF GREATER MUMBAI

FORM 'A'

MAHARASHTRA REGIONAL AND TOWN PLANNING ACT, 1966

No CHE/CTY/0953/F/N/337(NEW)

COMMENCEMENT CERTIFICATE

To,
Deepak Goradia
Lawrence & Mayo House, 1st Floor, 276, Dr.
D.N.Road, Mumbai-400001

Sir,

With reference to your application No. **CHE/CTY/0953/F/N/337(NEW)** Dated. **21/12/2017** for Development Permission and grant of Commencement Certificate under Section 44 & 69 of the Maharashtra Regional and Town Planning Act, 1966, to carry out development and building permission under Section 346 no 337 (New) dated **21/12/2017** of the Mumbai Municipal Corporation Act 1888 to erect a building in Building development work of on plot No. **0** C.T.S. No. **2A/116 & 4/116 & 4/356** Division / Village / Town Planning Scheme No. **Salt Pan & Matunga** situated at **D. P. Road** Road / Street in **F/North** Ward .

The Commencement Certificate / Building Permit is granted on the following conditions.--

1. The land vacated on consequence of the endorsement of the setback line/ road widening line shall form part of the public street.
2. That no new building or part thereof shall be occupied or allowed to be occupied or used or permitted to be used by any person until occupancy permission has been granted.
3. The Commencement Certificate/Development permission shall remain valid for one year commencing from the date of its issue.
4. This permission does not entitle you to develop land which does not vest in you.
5. This Commencement Certificate is renewable every year but such extended period shall be in no case exceed three years provided further that such lapse shall not bar any subsequent application for fresh permission under section 44 of the Maharashtra Regional and Town Planning Act, 1966.
6. This Certificate is liable to be revoked by the Municipal Commissioner for Greater Mumbai if :-
   a. The Development work in respect of which permission is granted under this certificate is not carried out or the use thereof is not in accordance with the sanctioned plans.
   b. Any of the conditions subject to which the same is granted or any of the restrictions imposed by the Municipal Commissioner for Greater Mumbai is contravened or not complied with.
   c. The Municipal Commissioner of Greater Mumbai is satisfied that the same is obtained by the applicant through fraud or misrepresentation and the applicant and every person deriving title through or under him in such an event shall be deemed to have carried out the development work in contravention of Section 43 or 45 of the Maharashtra Regional and Town Planning Act, 1966.
7. The conditions of this certificate shall be binding not only on the applicant but on his heirs, executors, assignees, administrators and successors and every person deriving title through or under him.

The Municipal Commissioner has appointed Shri. **AE (BP) City-V** Assistant Engineer to exercise his powers and functions of the Planning Authority under Section 45 of the said Act.

This CC is valid upto 12/4/2018

Issue On : 13/4/2016 Valid Upto : 12/4/2018

Remark :

This C.C. is issued up to top of basement i.e. plinth C.C. as per I.O.D. dated 24/9/2015.

Approved By
C.P.Metkar
Executive Engineer

Issue On : 5/2/2018 Valid Upto : 13/4/2018

Remark :

This C.C. is further extended up to top of 5th podium (Non habitable floors) as per IOD dated 29.09.2015

For and on behalf of Local Authority
Municipal Corporation of Greater Mumbai

Assistant Engineer . Building Proposal
City F/North Ward

Cc to :
1. Architect.
2. Collector Mumbai Suburban /Mumbai District.

CHE/CTY/0953/F/N/337(NEW)

Page 2 of 3 on 2/5/2018 4:04:36 PM

CHE/CTY/0953/F/N/337(NEW)

Page 3 of 3 on 2/5/2018 4:04:36 PM

MUNICIPAL CORPORATION OF GREATER MUMBAI

No. CHE/CTY/0953/FN/337(NEW)

Office of Ex. Eng.
Building Proposal (City) III,
M.C.G.M. New building,
C.S.No.355B, Bhagwan Valmiki Chowk,
Vidhyalankar Marg, Antop Hill,
Wadala, Mumbai- 400 037.

To,
Shri. R. D. Shenoy, Acrhitect,
M/s Ramnani & Associates,
Dosti Venus,
Dosti Acres, Wadala (E),
Mumbai-400037.

Sub: Redevelopment of Proposed building on plot bearing C. S. No. 2A/116 & 4/116 of Salt Pan division and 4/356 of Matunga Division in F/North Ward, at Wadala, Mumbai.

Ref: 1) Your application for Revalidation of C.C.
2) Demand Note vide no. CHE/BP/27300/19.

Sir,

With reference to the above, the C.C. issued under No. CHE/CTY/0953/ FN/337(NEW) is revalidated for the further period upto 12/04/2020. A copy of revalidation digitally signed herewith and same may be downloaded from your console or from http://www.autodcr.mcgm. gov.in / Citizen Serch.aspx.

Yours faithfully,

Amit Vasudeo Rawool
S.E.(B.P) City- IX

Sanjay Rohidas Nirmal
A.E.(B.P) City- V

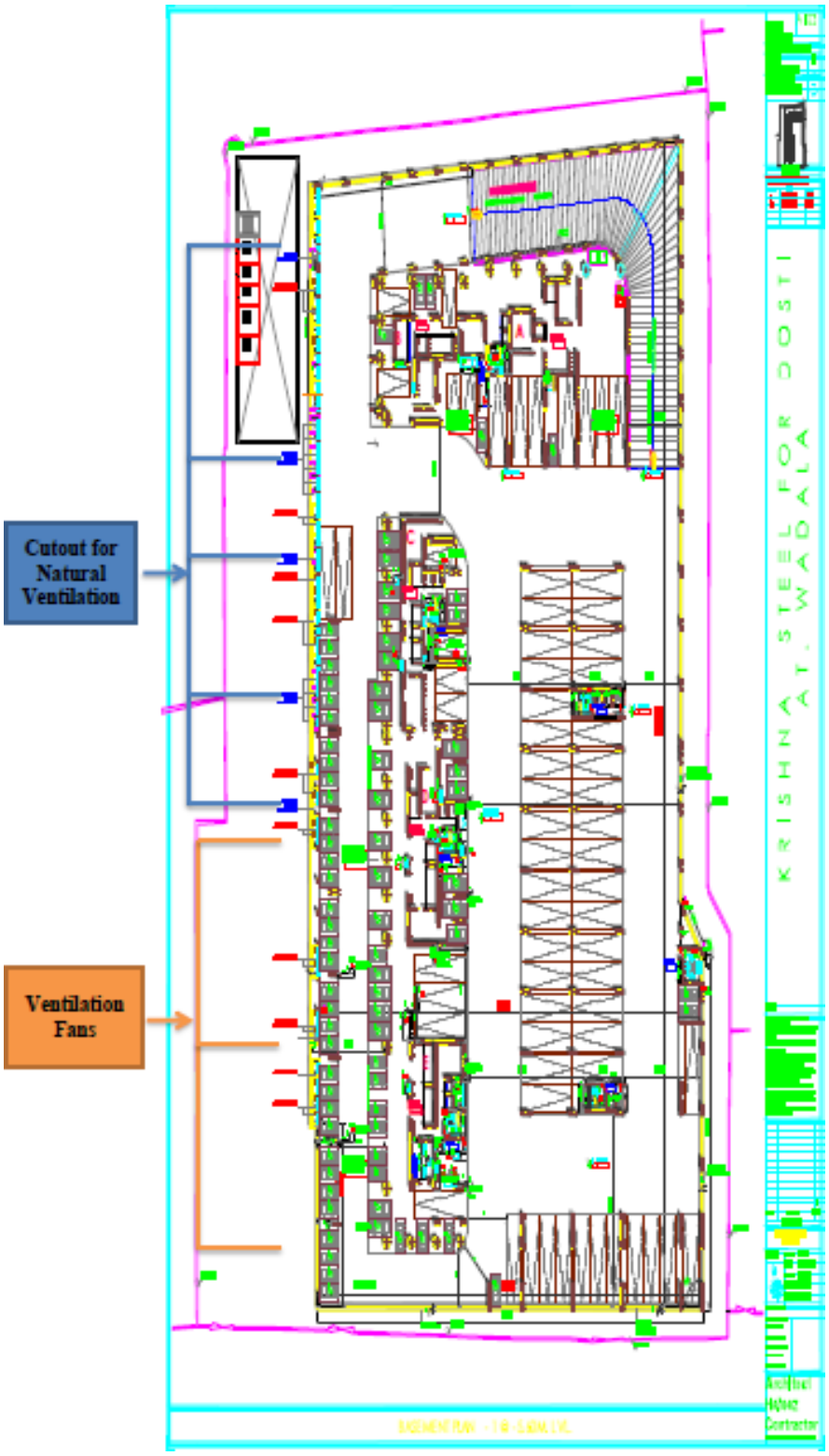
CHE/CTY/1585/FN/337(NEW)

Copy to,
Developer:
Shri Deepak Goradia,
M/s Dosti Reality Ltd.,
Lawrence & Meyo House,
.

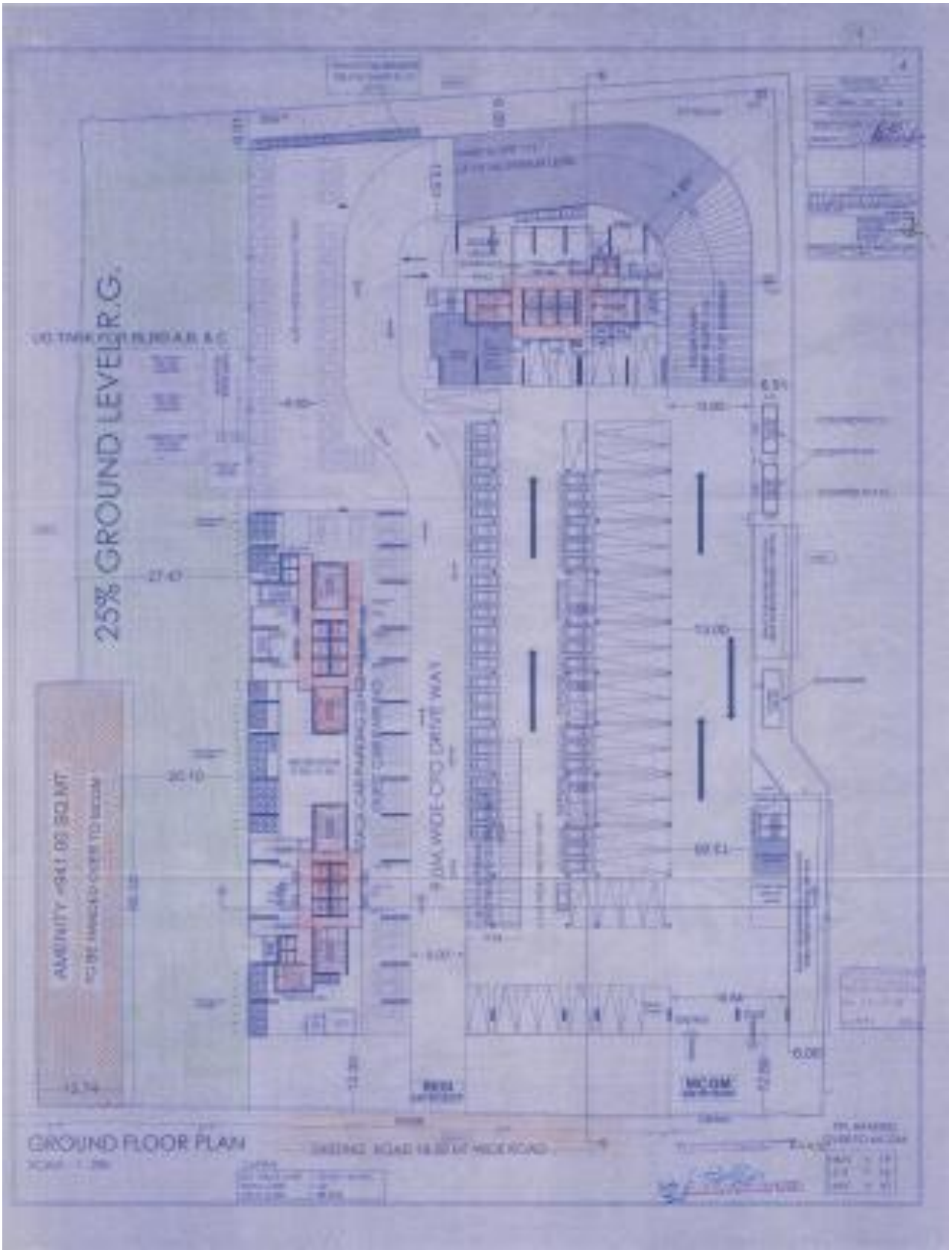
Amit Vasudeo Rawool
S.E.(B.P) City- IX

Sanjay Rohidas Nirmal
A.E.(B.P) City- V

Annexure 04: Basement Ventilation Cutout



Annexure 05: Ground Floor plan drawing



Annexure 06: Height Clearance NOC (Civil Aviation NOC)

भारतीय विमानपत्तन प्राधिकरण
AIRPORTS AUTHORITY OF INDIA

Mr.Deepak Goradia of M/s.Dosti Realty Ltd
Lawrence & Mayo
House,276,Dr.D.N.Road,Fort,Mumbai-400001.

Date: 21-09-2016
Valid Upto: 20-09-2021

No Objection Certificate for Height Clearance

1. This NOC is issued by Airports Authority of India (AAI) in pursuance of responsibility conferred by and as per the provisions of Govt. of India (Ministry of Civil Aviation) order GSR751 (E) dated 30th Sept. 2015 for Safe and Regular Aircraft Operations.

2. This office has no objection to the construction of the proposed structure as per the following details:

NOC ID :	SNCR/WEST/B/071316/150021
Applicant Name*	Mr.Vilas Sawant
Site Address*	C.S.No.2A/116 and 4/116 of Salt Pan Division and 4/356 of Matunga Division, Antop Hill,Mumbai,Antop Hill,Mumbai,Maharashtra
Site Coordinates*	72 52 00.67-19 01 19.35, 72 52 01.038-19 01 21.413, 72 52 01.734-19 01 24.213, 72 52 04.774-19 01 18.621, 72 52 05.143-19 01 20.381, 72 52 05.558-19 01 23.910,
Site Elevation in mtrs AMSL as submitted by Applicant*	4.55 M
Permissible Top Elevation in mtrs Above Mean Sea Level(AMSL)	172.59 M (Restricted)

*As provided by applicant

3. This NOC is subject to the terms and conditions as given below:

a. Permissible Top elevation has been issued on the basis of Site coordinates and Site Elevation submitted by Applicant. AAI neither owns the responsibility nor authenticates the correctness of the site coordinates & site elevation provided by the applicant. If at any stage it is established that the actual data is different, this NOC will stand null and void and action will be taken as per law. The office in-charge of the concerned aerodrome may initiate action under the Aircraft (Demolition of Obstruction caused by Buildings and Trees etc.) Rules, 1994".

b. The Structure height (including any superstructure) shall be calculated by subtracting the Site elevation in AMSL from the Permissible Top Elevation in AMSL. i.e. Maximum Structure Height = Permissible Top Elevation minus (-) Site Elevation.

c. The issue of the "NOC" is further subject to the provisions of Section 9A of the Indian Aircraft Act, 1934 and any notifications issued there under from time to time including the Aircraft (Demolition of Obstruction caused by Buildings and Trees,etc.) Rules,1994.

d. No radio/TV Antenna, lightning arresters, staircase, Mumtee, Overhead water tank and attachments of fixtures of any kind shall project above the Permissible Top Elevation of 172.59 M (Restricted) , as indicated in para 2.

Page 1/2

राजीव गांधी भवन सफदरजंग हवाई अड्डा नई दिल्ली-110003 दूरभाष : 24632950
Rajiv Gandhi Bhawan Safdarjung Airport, New Delhi-110003 Phone: 24632950

भारतीय विमानपत्तन प्राधिकरण
AIRPORTS AUTHORITY OF INDIA

e. Only use of oil fired or electric fired furnace is permissible, within 8 KM of the Aerodrome Reference Point.

f. The certificate is valid for a period of 5 years from the date of its issue. If the construction of structure (Chimney is not commenced within the period, a fresh 'NOC" from the Designated Officer of Airports Authority of India shall be obtained. However, if construction work has commenced, onetime revalidation request, for a period not exceeding 8 years from the date of issue of NOC in respect of building structure and for a period not exceeding 12 years from the date of issue of NOC in respect of chimney, may be considered by AAI. The date of completion of the Structure should be intimated to this office.

g. No light or a combination of lights which by reason of its intensity, configuration or colour may cause confusion with the aeronautical ground lights of the Airport shall be installed at the site at any time, during or after the construction of the building. No activity shall be allowed which may affect the safe operations of flights.

h. The applicant will not complain/claim compensation against aircraft noise, vibrations, damages etc. caused by aircraft operations at or in the vicinity of the airport.

i. Day markings & night lighting with secondary power supply shall be provided as per the guidelines specified in chapter 6 and appendix 6 of Civil Aviation Requirement Series 'B' Part I Section 4, available on DGCA India website: www.dgca.nic.in

j. The applicant is responsible to obtain all other statutory clearances from the concerned authorities including the approval of building plans. This NOC for height clearances is to ensure the safe and regular aircraft operations and shall not be used as document for any other purpose/claim whatsoever, including ownership of land etc.

k. This NOC has been issued w.r.t. the Civil Airports. Applicant needs to seek separate NOC from Defence, if the site lies within their jurisdiction.

l. In case of any discrepancy interpretation of NOC letter, English version shall be valid.

m. In case of any dispute w.r.t site elevation and or AGL height, amsl elevation in AMSL shall prevail.

Chairman NOC Committee
Region Name: WEST
Address: General Manager Airports Authority of India, Regional Headquarter, Western Region, Opp. Parsiwada, Sahar Road, Vale Parle (E)
Email ID: noewrmumbai@gmail.com
Contact No: 022-26819573

CHINSON
Page 2/2

Annexure 07: DP Remark (1991 & 2034)

MUNICIPAL CORPORATION OF GREATER MUMBAI
No Ch.E/ 1261 /DPC/ F/N dt 21/3/2005

Office of the Chief Engineer
(Development Plan) 4th Floor, Extn.Bldg.,
Municipal Head Office, Mahapalika Marg,
Fort, Mumbai –400 001.

To,
To,
Ramrani & Associates,
C1/2, Dosti Venue,
Off. S. M. Road,
Wadala (E), Mumbai- 37.

Sub :- D.P. Remarks for property bearing in C.S.No.4/356 Of Matunga Division in F/North Ward.

Sir

Ref :- You application under Sr. No.3905 dtd. 16/3/2005 & payment of certifying charges made under Receipt No1180681 dtd 19/3/2005.

Under the revised Development Plan of F/North Ward, sanctioned by the State Government, the above land shown bounded black on the accompanying plan, returned herewith, is not reserved for any public purpose except for the widening , if any, of the existing roads & for a proposed D.P. Road & their junctions.

The above land is situated in a Special Industrial Zone (I-3).

It appears from the D.P. Sheet that the plot under reference has no access from any Municipal Road. Hence, the access shall be got confirmed from the Asst. Comm. F/North Ward & A.E (Survey)

It is affected by the proposed 18.30 mt. wide D.P .Road as shown coloured burnt sienna on the plan.

The widening, if any, of the existing roads and their junction will as per the regular lines prescribed by and subject to the actual demarcation on site by the Executive Engineer (Traffic Planning) and S.E. Survey(City).

The alignment of proposed D.P. Road is subject to the actual demarcation on site by this office staff alorg with the representaive of S.E. Survey(City) F/North Ward, E.E.(Traffic Planning) ,S.L.R.

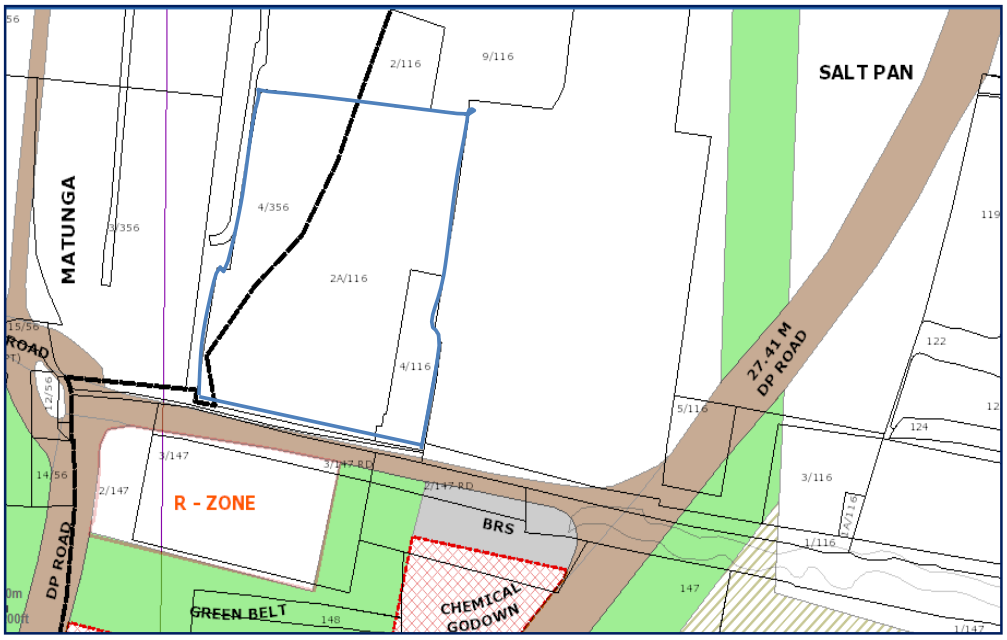
The above remarks have been offered only from the zoning point of view without carrying out the actual inspection on site and without any reference to the ownership, the existence & status of the structures, if any, on the land in question etc. The C.S.boundaries shown on the plan are subject to confirmation from S.L.R.

Yours faithfully,

21/3/05
Assistant Engineer
(Development Plan)City-II

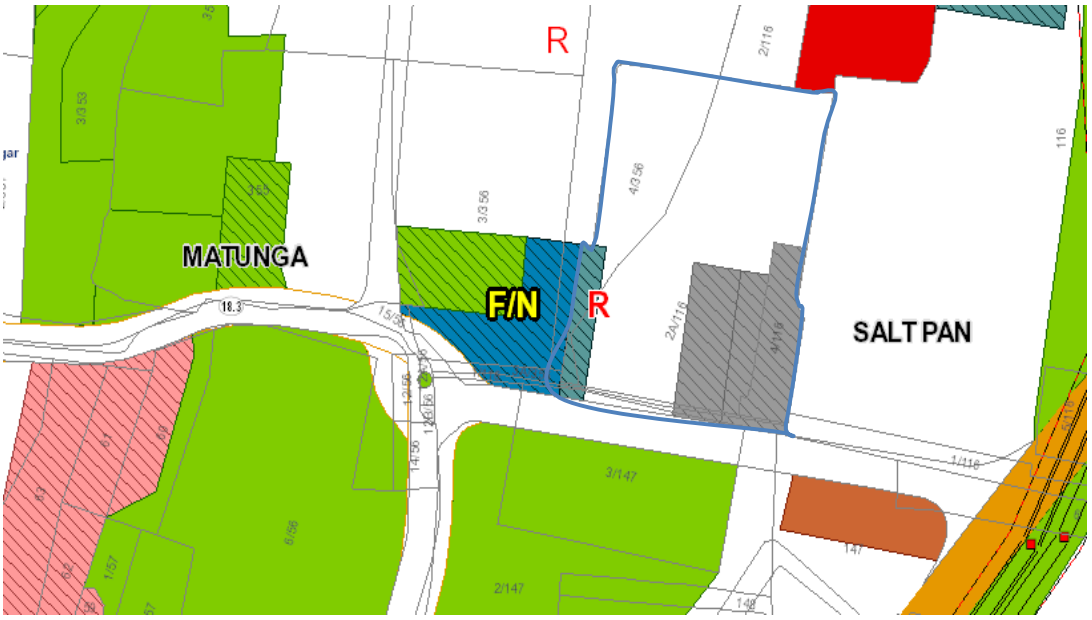
Acc.:-2 Plans

DP Remark 1991:



Proposed site

DP Remark 2034:



Proposed site

Annexure 08: Consent to Establish

MAHARASHTRA POLLUTION CONTROL BOARD

Tel: 24010706/ 24010437
Fax: 24023516
Website: http://mpcb.gov.in
E-mail: cac-cell@mpcb.gov.in

Kalpataru Point, 2nd - 4th Floor
Opp. Cine Planet Cinema,
Near Sion Circle, Sion (E)
Mumbai-400 022.

Consent order No: - Format 1.0/BO/CAC-cell/UAN No. 0000005162/CE/5thCAC- 1901001340
Date- 18/01/2019

To,
M/s Dosti Realty Ltd.,
C.S. No. 2A/116 & 4/116 of Salt Pan Division & 4/356 of Matunga Division,
Vidyalankar College Road, Antop Hill, Wadala (E), Mumbai - 400 037.

Subject: Grant of Consent to Establish for Residential construction project with public parking facility in Red Category.

Ref.: 1. Environmental Clearance granted vide letter No. SEAC-2015/CR-276/TC-1 dtd. 6/03/2009.
2. Minutes of Consent Appraisal Committee meeting held on 17/09/2018.

Your application No. 0000005162 **Dated** 24/05/2016

For: Grant of Consent to Establish under Section 25 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization under Rule 6 of the Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 is considered and the consent is hereby granted subject to the following terms and conditions and as detailed in the schedule I, II, III & IV annexed to this order:

1. The Consent to Establish is valid for period up to commissioning or up to 5 year whichever is earlier.
2. The capital investment of the project is Rs. 665 Crs as per undertaking submitted by project proponent.
3. The Consent to Operate (Part-I) is valid for Residential construction project with public parking facility of M/s Dosti Realty Ltd. at plot bearing C.S. No. 2A/116 & 4/116 of Salt Pan Division & 4/356 of Matunga Division, Vidyalankar College Road, Antop Hill, Wadala (E), Mumbai - 400 037 on total plot area of 18,667.08 Sq. Mtrs. for total construction BUA of 1,80,797.65 Sq. Mtrs. as per Environmental Clearance including utilities and services.
4. **Conditions under Water (P&CP), 1974 Act for discharge of effluent:**

Sr. no.	Description	Permitted quantity of discharge (CMD)	Standards to be achieved	Disposal
1.	Trade effluent	NIL	NA	NA
2.	Domestic effluent	325	As per Schedule –I	The treated domestic effluent shall be 60% recycled for secondary purposes and remaining shall be utilized on land for gardening and connected to sewerage system provided by Local Body.

5. **Conditions under Air (P& CP) Act, 1981 for air emissions:**

Sr. No.	Description of stack/ source	Number Of Stack	Standards to be achieved
1	D.G. Sets (1,250 KVA)	1	As Per Schedule -II

6. **Conditions under Municipal Solid Waste (Management and Handling) Rule, 2000:**

Maharashtra Pollution Control Board

Sr. no.	Type Of Waste	Quantity	Treatment	Disposal
1	Biodegradable	857 Kg/day	OWC followed by composting	Used as Manure
2	Non-Biodegradable	367 Kg/day	--	Segregate and Hand over to Local Body for recycling
3	STP Sludge	49 Kg/D	--	Used as Manure

7. **Conditions under Hazardous and Other Wastes (Management and Transboundary Movement) Rules, 2016 for treatment and disposal of hazardous waste**

Sr. No.	Type Of Waste	Quantity	UOM	Treatment	Disposal
NIL					

8. The Board reserves the right to review, amend, suspend, revoke etc. this consent and the same shall be binding on the industry.
9. This consent should not be construed as exemption from obtaining necessary NOC/permission from any other Government authorities.
10. Project Proponent shall provide adequate capacity of sewage treatment plant so as to achieve treated domestic effluent standard for the parameter BOD- 10 mg/lit.
11. The treated effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening.
12. Project Proponent shall install online monitoring system for BOD, TSS and flow at the outlet of Sewage Treatment Plant.
13. Project Proponent shall submit Bank Guarantee of Rs. 25 Lakhs towards compliance of Environment Clearance and Consent to Establish condition.
14. Project Proponent shall install organic waste digester along with composting facility/ bio-digester (biogas) with composting facility for the treatment of wet garbage.
15. This consent is issued subject to the order passed or as may be passed by the Hon'ble Supreme Court of India in special leave petition (Civil No. D23708/2017).

For and on behalf of the
Maharashtra Pollution Control Board

(E. Ravendiran, IAS)
Member Secretary

Maharashtra Pollution Control Board

Received Consent fee of –

Sr. No.	Amount	DR/ DD/ RTGS/ NEFT/ TXN No.	Bank Name	Date
1	Rs. 13,30,000/-	0177649	HDFC Bank	09/06/2016

Copy to:

1. Regional Officer (Mumbai)/ Sub-Regional Officer (Mumbai-I), M.P.C. Board.
   -They are directed to ensure the compliance of the consent conditions.
2. Chief Accounts Officer, MPCB, Mumbai.
3. CC/CAC desk- for record & website updating purposes.

Schedule-I

Terms & conditions for compliance of Water Pollution Control:

1) A] As per your application, you have proposed to provide Sewage Treatment Plants of designed capacity 360 CMD based on MBBR technology for the treatment of 325 CMD of domestic sewage.

B] The Applicant shall operate the Sewage Treatment Plant (STP) to treat the sewage so as to achieve the following standards/ prescribed under EP Act, 1986 and Rules made there under from time to time, whichever is stringent:

Sr. No.	Parameters	Standards prescribed by Board
		Limiting Concentration in mg/l, except for pH
01	BOD (3 days 27°C)	10
02	Suspended Solids	20
03	COD	50
04	Residual Chlorine	1 ppm

C] The treated domestic effluent shall be 60% recycled for secondary purposes such as toilet flushing, air conditioning, cooling tower make up, firefighting etc. and remaining shall be utilized on land for gardening and connected to the sewerage system provided by local body. In no case, effluent shall find its way to any water body directly/indirectly at any time. Project proponent shall provide flow meter to ensure 60% recycling of treated sewage and shall maintain the record with data logging system. PP shall achieve the treated domestic effluent standard for the parameter BOD- 10 mg/lit. The online monitoring data of the parameters Flow, BOD, TSS at the STP outlet shall be connected to MPCB Server.

1) The Board reserves its rights to review plans, specifications or other data relating to plant setup for the treatment of waterworks for the purification thereof & the system for the disposal of sewage or trade effluent or in connection with the grant of any consent conditions. The Applicant shall obtain prior consent of the Board to take steps to establish the unit or establish any treatment and disposal system and/ or extension or addition thereto.

2) The industry shall ensure replacement of pollution control system or its parts after expiry of its expected life as defined by manufacturer so as to ensure the compliance of standards and safety of the operation thereof.

3) The Applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Act, 1974 and as amended, and other provisions as contained in the said act.

Sr. No.	Purpose for which water consumed	Water consumption quantity (CMD)
1	Industrial Cooling, spraying in mine pits or boiler feed	0.00
2	Domestic purpose	416
3	Processing whereby water gets polluted & pollutants are easily biodegradable	0.00
4	Processing whereby water gets polluted & pollutants are not easily biodegradable and are toxic	0.00

Maharashtra Pollution Control Board

"M/s Dosti Realty Ltd.", SRO Mumbai I/ UAN No. 0000005162 Page 3 of 6

Schedule-II

Terms & conditions for compliance of Air Pollution Control:

1. **As per your application, you have proposed to installed the Air pollution control (APC) system and also erected following stack (s) and to observe the following fuel pattern-**

Sr. No.	Stack Attached To	APC System	Height in Mtrs.	Type of Fuel	Quantity & UoM	SO_2 Kg/D
1	D.G. Set (1,250 KVA)	Acoustic Enclosure	6.0	HSD	240 Kg/Hr	115

2. The applicant shall operate and maintain above mentioned air pollution control system, so as to achieve the level of pollutants to the following standards:

Total Particulate matter	Not to exceed	150 mg/Nm^3

3. The Applicant shall obtain necessary prior permission for providing additional control equipment with necessary specifications and operation thereof or alteration or replacement alteration well before its life come to an end or erection of new pollution control equipment.
4. The Board reserves its rights to vary all or any of the condition in the consent, if due to any technological improvement or otherwise such variation (including the change of any control equipment, other in whole or in part is necessary).

Maharashtra Pollution Control Board

"M/s Dosti Realty Ltd.", SRO Mumbai I/ UAN No. 0000005162 Page 4 of 6

Schedule-III
Details of Bank Guarantees

Sr. No.	Consent (Renewal Of C to O)	Amt of BG Imposed	Submission Period**	Purpose of BG #	Compliance Period	Validity
1	C to E	Rs.25 Lakh	Existing	Towards compliance of EC & Consent to Establish conditions	31/12/2023	30/04/2024

* The above Bank Guarantee(s) shall be submitted by the applicant in favour of Regional Officer at the respective Regional Office within 15 days of the date of issue of Consent.

Maharashtra Pollution Control Board

"M/s Dosti Realty Ltd.", SRO Mumbai I/ UAN No. 0000005162 Page 5 of 6

Schedule-IV

General Conditions:

1) The applicant shall provide facility for collection of samples of sewage effluents, air emissions and hazardous waste to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.
2) The firm shall strictly comply with the Water (P&CP) Act, 1974, Air (P&CP) Act,1981 and Environmental Protection Act 1986 and Municipal Solid Waste (Management & Handling) Rule 2000, Noise (Pollution and Control) Rules, 2000 and E-Waste (Management & Handling Rule 2011.
3) Drainage system shall be provided for collection of sewage effluents. Terminal manholes shall be provided at the end of the collection system with arrangement for measuring the flow. No sewage shall be admitted in the pipes/sewers downstream of the terminal manholes. No sewage shall find its way other than in designed and provided collection system.
4) Vehicles hired for bringing construction material to the site should be in good condition and should conform to applicable air and noise emission standards and should be operated only during non-peak hours.
5) Conditions for D.G. Set
   a) Noise from the D.G. Set should be controlled by providing an acoustic enclosure or by treating the room acoustically.
   b) Applicant should provide acoustic enclosure for control of noise. The acoustic enclosure/ acoustic treatment of the room should be designed for minimum 25 dB (A) insertion loss or for meeting the ambient noise standards, whichever is on higher side. A suitable exhaust muffler with insertion loss of 25 dB (A) shall also be provided. The measurement of insertion loss will be done at different points at 0.5 meters from acoustic enclosure/room and then average.
   c) Applicant should make efforts to bring down noise level due to DG set, outside their premises, within ambient noise requirements by proper sitting and control measures.
   d) Installation of DG Set must be strictly in compliance with recommendations of DG Set manufacturer.
   e) A proper routine and preventive maintenance procedure for DG set should be set and followed in consultation with the DG manufacturer which would help to prevent noise levels of DG set from deteriorating with use.
   f) D.G. Set shall be operated only in case of power failure.
   g) The applicant should not cause any nuisance in the surrounding area due to operation of D.G. Set.
   h) The applicant shall comply with the notification of MoEF dated 17.05.2002 regarding noise limit for generator sets run with diesel.
6) Solid Waste – The applicant shall provide onsite municipal solid waste processing system & shall comply with Municipal Solid Waste (Management & Handling) Rule 2000 & E-Waste (M & H) Rule 2011.
7) Affidavit undertaking in respect of no change in the status of consent conditions and compliance of the consent conditions the draft can be downloaded from the official web site of the MPCB.
8) Applicant shall submit official e-mail address and any change will be duly informed to the MPCB.
9) The treated sewage shall be disinfected using suitable disinfection method.
10) The firm shall submit to this office, the 30th day of September every year, the environment statement report for the financial year ending 31st march in the prescribed Form-V as per the provision of rule 14 of the Environmental (Protection) Second Amended rule 1992.
11) **The applicant shall obtain Consent to Operate from the Board prior to commissioning of the Project.**

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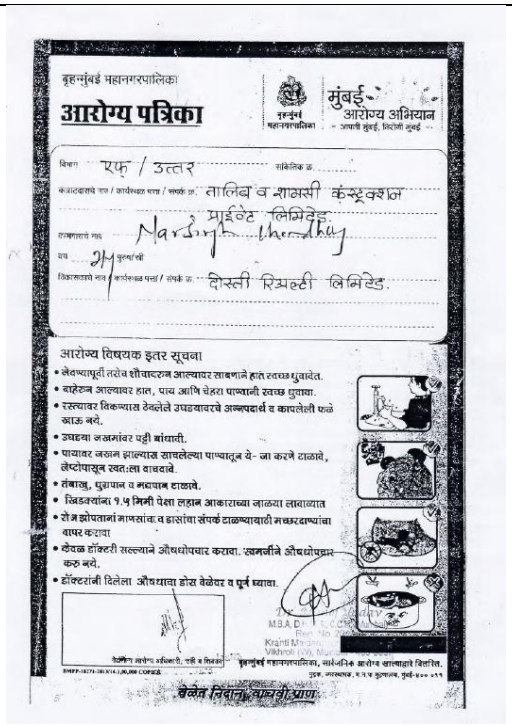
Maharashtra Pollution Control Board

"M/s Dosti Realty Ltd.", SRO Mumbai I/ UAN No. 0000005162 Page 6 of 6

Annexure 09: Health Screening Report



बृहन्मुंबई महानगरपालिका

आरोग्य पत्रिका

मुंबई आरोग्य अभियान

विभाग एफ / उत्तर

कंत्राटदाराचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. तालिब व शामसी कंस्ट्रक्शन प्रायव्हेट लिमिटेड.

कामगाराचे नाव Narsingh Mandhay

वय 24 पुरुष/स्त्री

नियोक्त्याचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. दोस्ती रिअल्टी लिमिटेड.

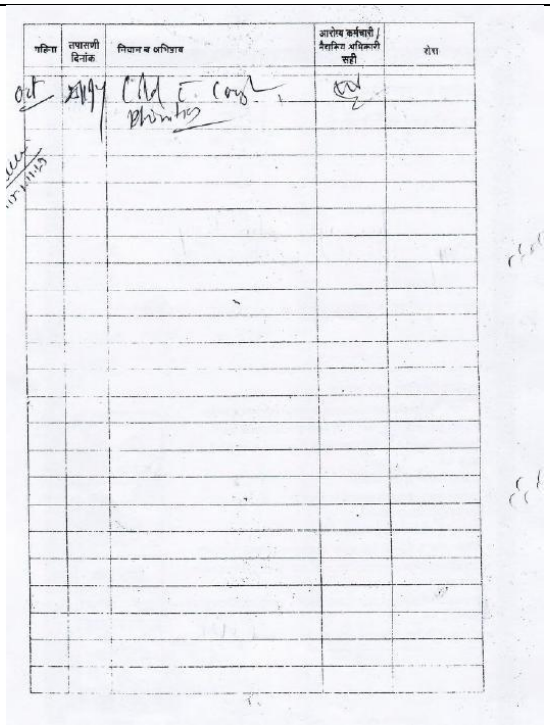
आरोग्य विषयक इतर सूचना

- जेवण्यापूर्वी तसेच शौचाहून आल्यावर साबणाने हात स्वच्छ धुवावेत.
- बाहेरून आल्यावर हात, पाय आणि चेहरा पाण्याने स्वच्छ धुवावा.
- रस्त्यावर विकण्यास ठेवलेले उघड्यावरचे अन्नपदार्थ व कापलेली फळे खाऊ नये.
- उघड्या जलसांवर पट्टी बांधावी.
- पायावर जखम झाल्यास साचलेल्या पाण्यातून ये- जा करणे टाळावे, लेप्टोपासून स्वतःला वाचवावे.
- तंबाखू, पुड्यान व मद्यपान टाळावे.
- खिडक्यांना १.५ मिमी पेक्षा लहान आकाराच्या जाळ्या लावाव्यात
- रोज झोपताना माणसांचा व डासांचा संपर्क टाळण्यासाठी मच्छरदाण्यांचा वापर करावा
- केवळ डॉक्टरी सल्ल्याने औषधोपचार करावा. स्वतःजीने औषधोपचार करु नये.
- डॉक्टरांनी दिलेला औषधाचा डोस वेळेवर व पूर्ण घ्यावा.

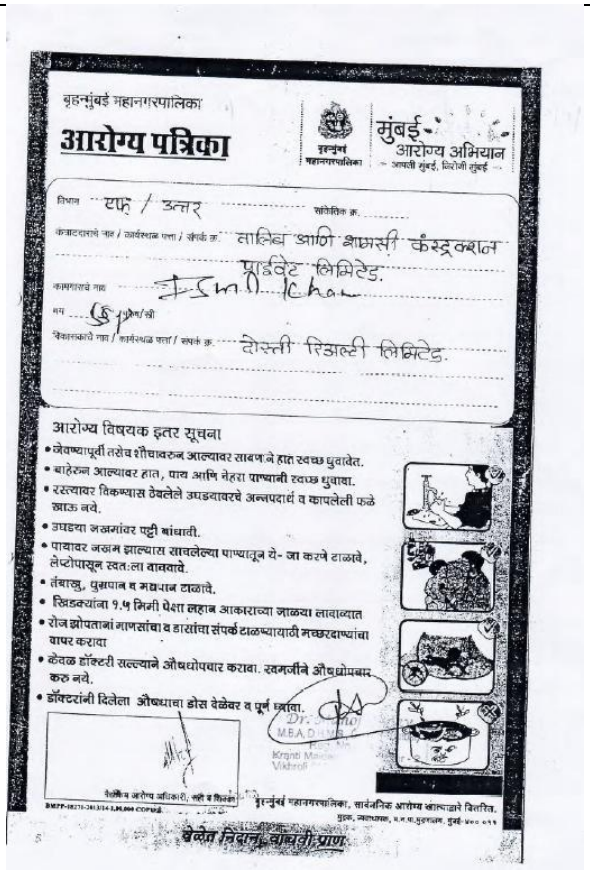
Dr. [illegible] MBADDVC Kranti Maidan Vikhroli

बृह-मुंबई महानगरपालिका, सार्वजनिक आरोग्य खात्याद्वारे वितरित.

वेळेत निदान, वाचवी प्राण



महिना	तपासणी दिनांक	निदान व अभिप्राय	आरोग्य कर्मचारी / वैद्यकिय अधिकारी सही	शेरा
Oct 2019		CNS E. Coli Pharyngitis		



बृह-मुंबई महानगरपालिका

आरोग्य पत्रिका

मुंबई आरोग्य अभियान

विभाग एफ / उत्तर

कंत्राटदाराचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. तालिब आणि शामसी कंस्ट्रक्शन प्रायव्हेट लिमिटेड.

कामगाराचे नाव Ismail Khan

वय 45 पुरुष/स्त्री

नियोक्त्याचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. दोस्ती रिअल्टी लिमिटेड.

आरोग्य विषयक इतर सूचना

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- उघड्या जलसांवर पट्टी बांधावी.
- पायावर जखम झाल्यास साचलेल्या पाण्यातून ये- जा करणे टाळावे, लेप्टोपासून स्वतःला वाचवावे.
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- केवळ डॉक्टरी सल्ल्याने औषधोपचार करावा. स्वतःजीने औषधोपचार करु नये.
- डॉक्टरांनी दिलेला औषधाचा डोस वेळेवर व पूर्ण घ्यावा.

Dr. [illegible] MBADDVC Kranti Maidan Vikhroli

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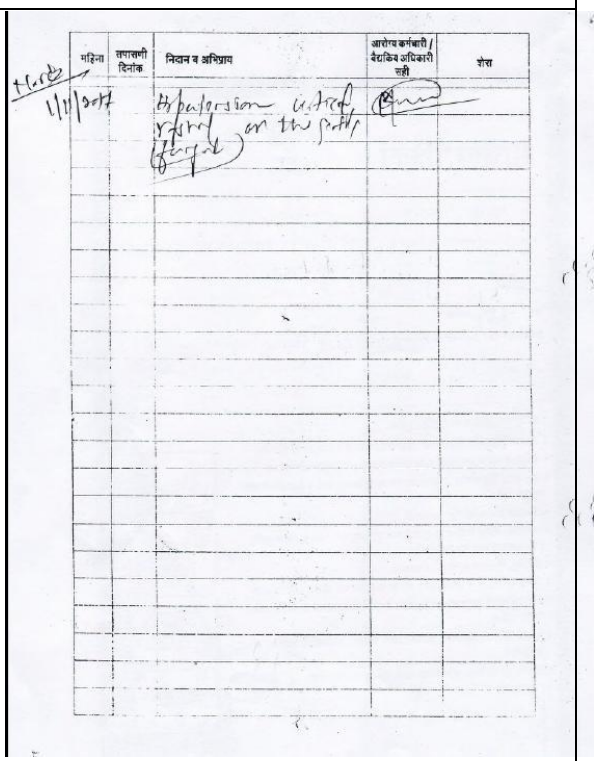
वेळेत निदान, वाचवी प्राण



महिना	तपासणी दिनांक	निदान व अभिप्राय	आरोग्य कर्मचारी / वैद्यकिय अधिकारी सही	शेरा
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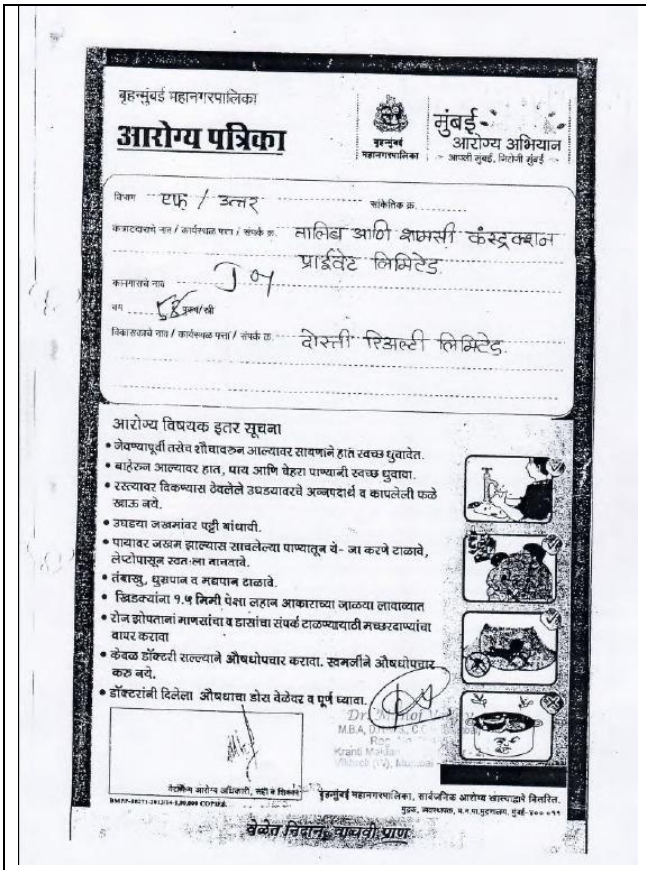

बृहन्मुंबई महानगरपालिका

आरोग्य पत्रिका

मुंबई आरोग्य अभियान
आपली मुंबई, निरोगी मुंबई

विभाग एफ / उत्तर सांकेतिक क्र.

कंत्राटदाराचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. लालिब आणि शापसी कंस्ट्रक्शन प्राईवेट लिमिटेड.

कामगाराचे नाव J 07

वय 18 पुरुष/स्त्री

निवासाचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. दोस्ती रिअल्टी लिमिटेड.

आरोग्य विषयक इतर सूचना

- जेवण्यापूर्वी तसेच शौचाहून आल्यावर साबणाने हात स्वच्छ धुवावेत.
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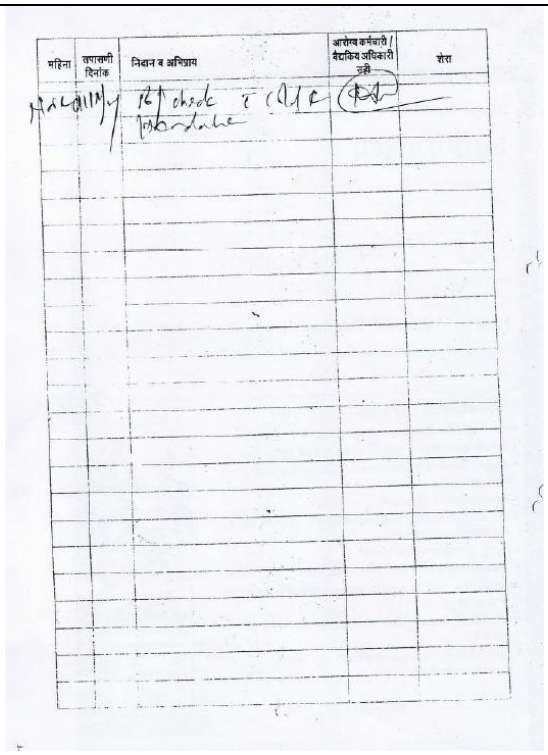
- डॉक्टरांनी दिलेला औषधाचा डोस वेळेवर व पूर्ण घ्यावा.

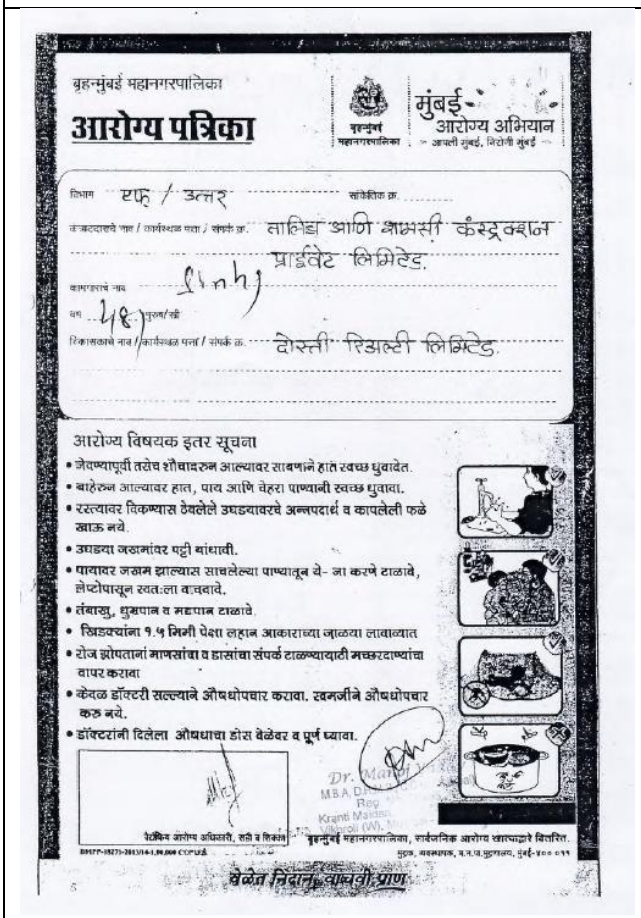
वैद्यकीय आरोग्य अधिकारी, सही व शिक्का

बृहन्मुंबई महानगरपालिका, सार्वजनिक आरोग्य खात्याद्वारे वितरित.

वेळेत निदान, वाचवी प्राण.



महिना	तपासणी दिनांक	निदान व अभिप्राय	आरोग्य कर्मचारी / वैद्यकिय अधिकारी सही	शेरा
MAY	19/5/20	18 check & 1 Tab Azithro		



बृहन्मुंबई महानगरपालिका

आरोग्य पत्रिका

मुंबई आरोग्य अभियान
आपली मुंबई, निरोगी मुंबई

विभाग एफ / उत्तर सांकेतिक क्र.

कंत्राटदाराचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. लालिब आणि शापसी कंस्ट्रक्शन प्राईवेट लिमिटेड.

कामगाराचे नाव Sinh J

वय 48 पुरुष/स्त्री

निवासाचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. दोस्ती रिअल्टी लिमिटेड.

आरोग्य विषयक इतर सूचना

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- पायावर जखम झाल्यास साचलेल्या पाण्यातून चे- जा करणे टाळावे, लेप्टोपासून स्वतःला वाचवावे.
- तंबाखू, धुम्रपान व मद्यपान टाळावे.
- खिडक्यांना १.५ मिमी पेक्षा लहान आकाराच्या जाळ्या लावाव्यात
- रोज झोपतानां माणसांचा व डासांचा संपर्क टाळण्यासाठी मच्छरदाण्यांचा वापर करावा
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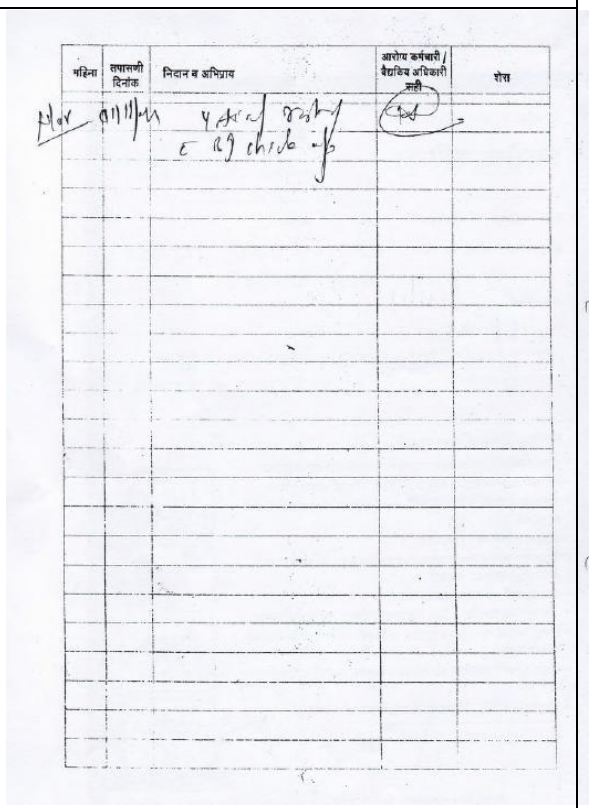
- डॉक्टरांनी दिलेला औषधाचा डोस वेळेवर व पूर्ण घ्यावा.

वैद्यकीय आरोग्य अधिकारी, सही व शिक्का

बृहन्मुंबई महानगरपालिका, सार्वजनिक आरोग्य खात्याद्वारे वितरित.

वेळेत निदान, वाचवी प्राण.



महिना	तपासणी दिनांक	निदान व अभिप्राय	आरोग्य कर्मचारी / वैद्यकिय अधिकारी सही	शेरा
May	9/11/20	4 check 98 & 89 check up		

बृहन्मुंबई महानगरपालिका

आरोग्य पत्रिका

बृहन्मुंबई महानगरपालिका | मुंबई आरोग्य अभियान – आपली मुंबई, निरोगी मुंबई –

विभाग एफ / उत्तर .... सांकेतिक क्र. ....

कंत्राटदाराचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. तालिब आणि शम्सी कंस्ट्रक्शन प्राईवेट लिमिटेड.

कामगाराचे नाव [illegible]

वय [illegible] पुरुष/स्त्री

विकासकाचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. दोस्ती रिअल्टी लिमिटेड.

आरोग्य विषयक इतर सूचना

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वैद्यकिय आरोग्य अधिकारी, सही व शिक्का

Dr. Manoj Yadav M.B.A, D.H.M.S., C.C.H. (Mumbai) Reg. No. 2049... Kranti Maidan ...

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बृहन्मुंबई महानगरपालिका, सार्वजनिक आरोग्य खात्याद्वारे वितरित. मुद्रण, व्यवस्थापक, म.न.पा.मुद्रणालय, मुंबई-४०० ०११

वेळेत निदान, वाचवी प्राण

महिना	तपासणी दिनांक	निदान व अभिप्राय	आरोग्य कर्मचारी / वैद्यकिय अधिकारी सही	शेरा
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बृहन्मुंबई महानगरपालिका

आरोग्य पत्रिका

बृहन्मुंबई महानगरपालिका | मुंबई आरोग्य अभियान – आपली मुंबई, निरोगी मुंबई –

विभाग एफ / उत्तर .... सांकेतिक क्र. ....

कंत्राटदाराचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. तालिब आणि शम्सी कंस्ट्रक्शन प्राईवेट लिमिटेड.

कामगाराचे नाव [illegible]

वय [illegible] पुरुष/स्त्री

विकासकाचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. दोस्ती रिअल्टी लिमिटेड.

आरोग्य विषयक इतर सूचना

- जेवण्यापूर्वी तसेच शौचावरुन आल्यावर साबणाने हात स्वच्छ धुवावेत.
- बाहेरुन आल्यावर हात, पाय आणि चेहरा पाण्याने स्वच्छ धुवावा.
- रस्त्यावर विकण्यास ठेवलेले उघड्यावरचे अन्नपदार्थ व कापलेली फळे खाऊ नये.
- उघड्या जखमांवर पट्टी बांधावी.
- पायावर जखम झाल्यास साचलेल्या पाण्यातून ये- जा करणे टाळावे, लेप्टोपासून स्वत:ला वाचवावे.
- तंबाखु, धुम्रपान व मद्यपान टाळावे.
- खिडक्यांना १.५ मिमी पेक्षा लहान आकाराच्या जाळ्या लावाव्यात
- रोज झोपताना माणसांचा व डासांचा संपर्क टाळण्यासाठी मच्छरदाण्यांचा वापर करावा
- केवळ डॉक्टरी सल्ल्याने औषधोपचार करावा. स्वमर्जीने औषधोपचार करु नये.
- डॉक्टरांनी दिलेला औषधाचा डोस वेळेवर व पूर्ण घ्यावा.

वैद्यकिय आरोग्य अधिकारी, सही व शिक्का

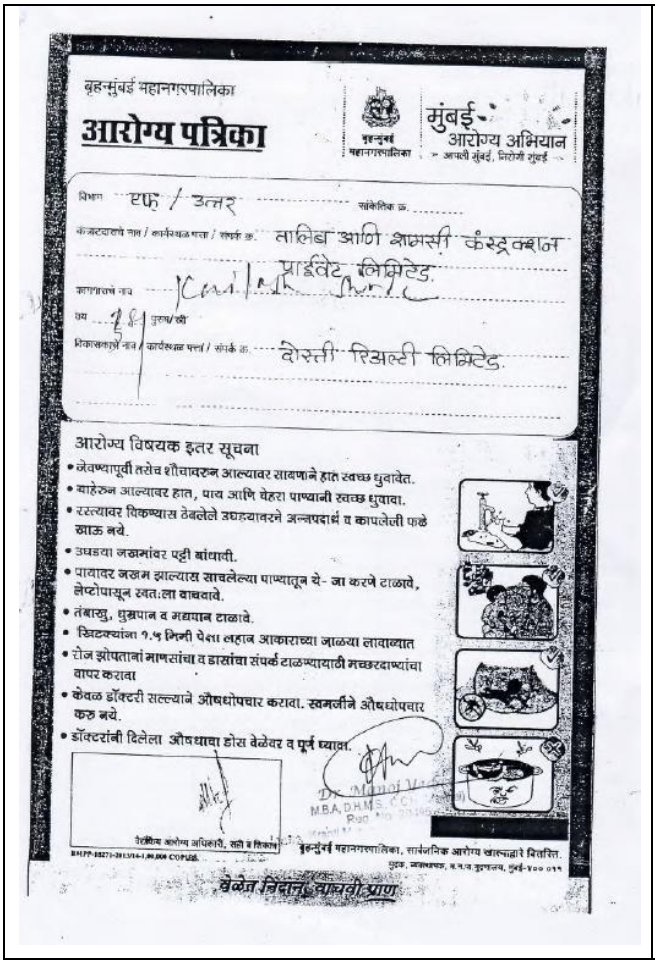
Dr. ... Yadav M.B.A, D.H.M.S., C.C.H. (Mumbai) Reg. No. 2049... Kranti Maidan ...

BMPP-1827I-2013/14-1,00,000 COPIES

बृहन्मुंबई महानगरपालिका, सार्वजनिक आरोग्य खात्याद्वारे वितरित. मुद्रण, व्यवस्थापक, म.न.पा.मुद्रणालय, मुंबई-४०० ०११

वेळेत निदान, वाचवी प्राण

महिना	तपासणी दिनांक	निदान व अभिप्राय	आरोग्य कर्मचारी / वैद्यकिय अधिकारी सही	शेरा
[illegible]		fever c [illegible]	[signature]	



बृहन्मुंबई महानगरपालिका

आरोग्य पत्रिका

मुंबई आरोग्य अभियान

विभाग एफ / उत्तर सांकेतिक क्र.

कंत्राटदाराचे नाव / कार्यस्थळ पत्ता / संपर्क क्र. तालिब आणि शमसी कंस्ट्रक्शन प्राईवेट लिमिटेड.

कामगाराचे नाव

वय 28 पुरुष/ स्त्री

मिकासकर्ता नाव / कार्यस्थळ पत्ता / संपर्क क्र. दोस्ती रिअल्टी लिमिटेड.

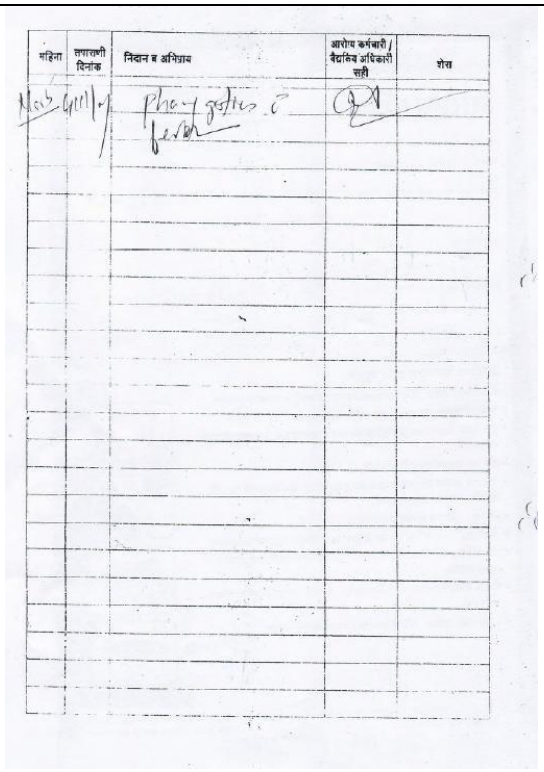
आरोग्य विषयक इतर सूचना

- जेवण्यापूर्वी तसेच शौचावरुन आल्यावर साबणाने हात स्वच्छ धुवावेत.
- बाहेरुन आल्यावर हात, पाय आणि चेहरा पाण्यानी स्वच्छ धुवावा.
- रस्त्यावर विकण्यास ठेवलेले उघड्यावरचे अन्नपदार्थ व कापलेली फळे खाऊ नये.
- उघडया जखमांवर पट्टी बांधावी.
- पायावर जखम झाल्यास साचलेल्या पाण्यातून ये- जा करणे टाळावे, लेप्टोपासून स्वत:ला वाचवावे.
- तंबाखु, गुटखापान व मद्यपान टाळावे.
- खिडक्यांना १.५ मिमी पेक्षा लहान आकाराच्या जाळ्या लावाव्यात
- रोज झोपतांना माणसांचा व डासांचा संपर्क टाळण्यासाठी मच्छरदाण्यांचा वापर करावा
- केवळ डॉक्टरी सल्ल्याने औषधोपचार करावा. स्वतःहून औषधोपचार करु नये.
- डॉक्टरांनी दिलेला औषधाचा डोस वेळेवर व पूर्ण घ्यावा.

वैद्यकीय अधिकारी, सही व शिक्का

बृहन्मुंबई महानगरपालिका, सार्वजनिक आरोग्य खात्याद्वारे वितरित.

वेळेत निदान, वाचवी प्राण



महिना	तपासणी दिनांक	निदान व अभिप्राय	आरोग्य कर्मचारी / वैद्यकिय अधिकारी सही	शेरा
Nov	6/11/19	Pharyngitis & fever		

MUNICIPAL CORPORATION OF GREATER MUMBAI
No. ACFN/ 328/MOH Dt. 03.06.2017

Office of Assistant Commissioner
F/ North Ward Office,
96,Bhau Daji Road
Matunga (E),Mumbai-19.
Tel. No. No. 24012636
Fax:- 24012636
Email:- acfn@mcgm.gov.in

To,
KSK- Wadala
Krishna Steel Site
Dosti Realty

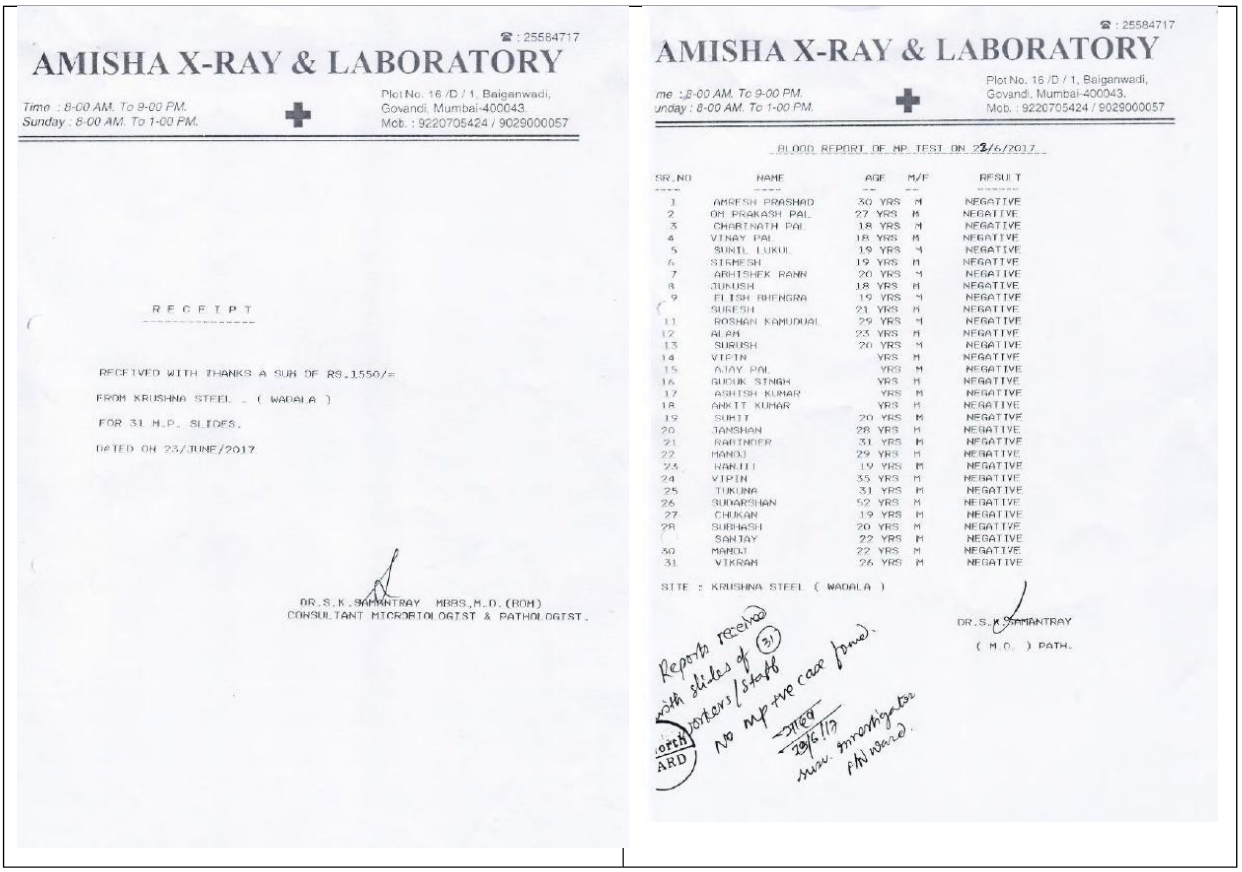
Sub:- Special drive for Malaria at construction sites.

Gentleman,

MCGM has decided to conduct a special drive for screening of construction site workers (Base Line Survey) for detection of Malaria at construction sites from **5th June To 22nd June 2017**

- This drive would be carried out all over Mumbai in Co-ordination with the developers and private medical practitioners appointed by the builder at the construction sites.
- It is the responsibility of developers to get all the workers screened for malaria whether they have fever of not.
- Hence Blood smear collection for detection of malaria parasites of all workers (With or Without fever, Old or New) present at construction sites would be performed during **5th June To 22nd June 2017** in co-ordination with private medical practitioner presents at the constructions site.
- Laboratory report should be submitted along with blood slides (with Blood Smear Number) to Malaria surveillance staff.

- You are hereby directed to follow the same in accordance with the circular.
- Non-co-operation in any form will be viewed very seriously and strict disciplinary action will be taken against you.
- Your sincere participation is expected in a time bound manner by following the norms in the good cause of control of Malaria in city of Mumbai.



☎ : 25584717

AMISHA X-RAY & LABORATORY

Time : 8-00 AM. To 9-00 PM.
Sunday : 8-00 AM. To 1-00 PM.

Plot No. 16 /D / 1, Baiganwadi,
Govandi, Mumbai-400043.
Mob. : 9220705424 / 9029000057

RECEIPT

RECEIVED WITH THANKS A SUM OF RS.1550/=

FROM KRUSHNA STEEL . (WADALA)

FOR 31 M.P. SLIDES.

DATED ON 23/JUNE/2017

DR.S.K.SAMANTRAY MBBS.,M.D.(ROM)
CONSULTANT MICROBIOLOGIST & PATHOLOGIST.

☎ : 25584717

AMISHA X-RAY & LABORATORY

me : 8-00 AM. To 9-00 PM.
unday : 8-00 AM. To 1-00 PM.

Plot No. 16 /D / 1, Baiganwadi,
Govandi, Mumbai-400043.
Mob. : 9220705424 / 9029000057

BLOOD REPORT OF MP TEST ON 23/6/2017

SR.NO	NAME	AGE	M/F	RESULT
1	AMRESH PRASHAD	30 YRS	M	NEGATIVE
2	OM PRAKASH PAL	27 YRS	M	NEGATIVE
3	CHARINATH PAL	18 YRS	M	NEGATIVE
4	VINAY PAL	18 YRS	M	NEGATIVE
5	SUNIL LUKUL	19 YRS	M	NEGATIVE
6	SITARESH	19 YRS	M	NEGATIVE
7	ABHISHEK RANN	20 YRS	M	NEGATIVE
8	JUNUSH	18 YRS	M	NEGATIVE
9	ELISH BHENGRA	19 YRS	M	NEGATIVE
10	SURESH	21 YRS	M	NEGATIVE
11	ROSHAN KAMUDUAL	29 YRS	M	NEGATIVE
12	ALAM	23 YRS	M	NEGATIVE
13	SURUSH	20 YRS	M	NEGATIVE
14	VIPIN	YRS	M	NEGATIVE
15	AJAY PAL	YRS	M	NEGATIVE
16	GUDUK SINGH	YRS	M	NEGATIVE
17	ASHISH KUMAR	YRS	M	NEGATIVE
18	ANKIT KUMAR	YRS	M	NEGATIVE
19	SUMIT	20 YRS	M	NEGATIVE
20	JANSHAN	28 YRS	M	NEGATIVE
21	RABINDER	31 YRS	M	NEGATIVE
22	MANOJ	29 YRS	M	NEGATIVE
23	RANJIT	19 YRS	M	NEGATIVE
24	VIPIN	35 YRS	M	NEGATIVE
25	TUKUNA	31 YRS	M	NEGATIVE
26	SUDARSHAN	52 YRS	M	NEGATIVE
27	CHUKAN	19 YRS	M	NEGATIVE
28	SUBHASH	20 YRS	M	NEGATIVE
	SANJAY	22 YRS	M	NEGATIVE
30	MANOJ	22 YRS	M	NEGATIVE
31	VIKRAM	26 YRS	M	NEGATIVE

SITE : KRUSHNA STEEL (WADALA)

DR.S.K.SAMANTRAY
(M.D.) PATH.

Reports received with slides of (31) workers / staff. No MP +ve case found.
29/6/17
Insu. investigator
P/N received.
ARD

Annexure 10: Debris NOC

MUNICIPAL CORPORATION OF GREATER MUMBAI
SOLID WASTE MANAGEMENT
4th floor, Worli Garage Bldg, Dr.E.Moses Road, Worli, Mumbai-400018.24935687/88/93, Fax-24922166

EXCAVATED MATERIAL ONLY
VALIDITY UP TO: 31/08/2018.

Ex. Engr. (SWM) 27/8 Zone-2
5/3/18

To,
M/s. Ramnani & Associates
G-1/2, Dosti Venus,
Off S. M. Road,
Opp. Dosti Estate, Wadala(E),
Mumbai - 400 037

Sub: - Revalidation of permission for handling & transportation of waste generated under "Debris management Plan for proposed Bldg. on plot bearing C. S. No.2A/116 & 4/116 of Salt Pan Divn., Wadala, in 'F/N' ward, Mumbai.

Ref :- 1) Your application received Dtd.16.02.2018
2) IOD u/no. EB/7365/FN/A dt.24.09.15 CC on 13.04.16 Rect. No.1003007858 dt.06.07.17
3) Proforma 'A' & 'B' duly filled by Developer and Architect.
4) Letter from EE(AP-II) CIDCO u/no.i)CIDCO/EE(AP-II)/2017/479 dt.09.10.17
5) Letter from M/s. J. M. Mhatre to M/s. S. B. Transport dt.07.11.17
6) Letter from M/s. S. B. Transport to M/s. Ramnani & Associates Dt.03.03.18
7) Excavation permission u/no.CSLR/Masha-2/SaltPan/Bhu.Kr.2A/116&4/116/Mumbai/Gaukhap/2018/503 Dt.01.03.18
8) This office earlier NOC u/no. EE/SWM/1151/Z-II dt.01.11.17

With reference to your application along with the documents submitted to this office as referred above, the Debris Management Plan submitted by you has been approved and under the "Construction Demolition Waste (Management & Disposal) Rules 2006" and you are allowed to transport excavated materials(murum) from subject said site to the designated point of disposal as stated in "Debris Management Plan" submitted by you subject to the following Terms and Conditions.

This approval is not a permission for excavation or permission for dumping but this is approval to the debris management plan which is proposed and submitted by the architect/builder in respect of debris/earth generated at their site, due to excavation and its disposal to the proposed disposal site.

1. You will handle & transport **Excavation materials (murum) to the extent of 10000 Brass (Ten Thousand Brass only) to the unloading site - Development of land for rehabilitation and resettlement (R & R) of Mumbai Trans Harbour Link(MTHL) PAP's near Kundevahal village at Pushpak node, Navi Mumbai**
2. It is applicants responsibility to see that the permission obtained for unloading excavated / demolition materials at unloading site mentioned at sr. No. 1 is valid.
3. You/your sub contracting agencies working at site shall ensure that proper barricading and enclosure **(Minimum 20 feet)** are provided at construction site to avoid escape of fugitive dust into the atmosphere, as well as its deposits to spread on street / footpaths / drains etc.
4. You/your sub contracting agencies working at site shall ensure that, demolition debris waste generated is stored in proper container till its utilizations & not be deposited on roads or footpath.
5. You will transport the excavated materials only through the vehicles of which list is submitted by your transport contractor **M/s. S. P. Infra using vehicles as per attached list.**
6. The vehicles deployed shall abide by the vehicle registration numbers given to this office and see that they confirm to R.T.O. Rules & Regulations and be properly covered with tarpaulin or any other suitable material firmly on the vehicle to avoid any escape and fall of waste on road. The vehicles specified shall not create any nuisance i.e. spilling slurry / waste on road while transportation. The body, wheels, chassis etc, shall therefore be washed and cleaned thoroughly to avoid spreading of waste on road.
7. Any change in transport vehicles shall be intimated & get approved from this office before implementation. **Transportation of C&D waste shall be done in day time only.**
8. You/your sub contracting agencies will ensure that the transport agency appointed by you should transport the earth/debris from subject site to the unloading site stated at Sr.No.1 with due permission of the authorities as per prevailing rules.
9. **Each of the vehicle deployed under this approval shall carry the copy of this approval while transportation of waste**. The challan used for transportation and unloading shall clearly specify all the details including loading and disposal site.
10. Noise levels during excavation activities shall be restricted within the norms permissible by MPCB.
11. The vicinity of the site inside & outside the subject plot shall be maintained clean.

12. You/your sub contracting agencies will ensure that pre emptive steps are taken to avoid any disaster due to excavation of earth to the neighboring structures/ compound walls/ roads/ S.W.D. etc. and excavation work will strictly be carried out under the supervision and responsibility of structural engineer. While carrying out the work, if any damage occurred to the neighboring structure / compound wall / road / S.W.D. etc. or during dumping / disposal of excavated earth, chokes flooding situation to nearby area/house, then developer / owner / builder will be held responsible and they have to carry out repairs of damaged structure/compound wall/Roads/S.W.D. etc. free of cost.
13. You/your sub contracting agencies shall ensure that necessary permission from the Collector for excavation purpose be obtained before actual starting of the work and copy of the same shall be submitted to this office for perusal.
14. The NOC / Permission required from Central / State or any Government authority shall be complied with before execution of the work.
15. The approval is granted presuming that the papers submitted by the applicants / Owners are genuine & for any dispute arising out of documents submitted by applicant, POA / Occupant / Owner will be held responsible.
16. The transportation of excavated debris waste shall be done in day time only.
17. This permission is not valid for the areas covered with Mangroves & CRZ contravention of this clause will attract prosecution under the Environment Protection Act & other relevant Act.
18. The approval granted hereto does not absolve the approval required from the other department of M.C.G.M. OR Govt.
19. Any changes in the Debris Management Plan shall be submitted to the undersigned & fresh approval be obtained. It is necessary to renew the permission if there will be amendment in Bye-Laws for Cleanliness of Greater Mumbai.
20. In case of disputes, court matters etc. related to the subject site/land/property, this C & D. clearance certificate cannot be treated as a valid proof. For fraudulent practice the owner/agent is actionable as per rules.
21. Violation of any condition stated above will attract the action as per the prevailing C. & D. Rules & MCGM may revoke this approval.
22. The transportation of Excavation materials(Murum) waste shall be done in day time only.
23. **This permission is valid up to 31.08.2018.**

Yours Faithfully

5/12/19

Executive Engineer(SWM)Zone–II

Annexure – 11 Monitoring Report

INSTITUTE FOR ENVIRONMENTAL MANAGEMENT
An NABL Accredited Lab & Accredited by Jharkhand State Pollution Control Board
An ISO 9001:2015, ISO 14001:2015, OHSAS 18001:2007 ORGANIZATION

TEST CERTIFICATE

Report No: IEM/2020-21/02/15	Date of Report	04/02/2020
Client Name and Address:	Date of Sampling	03/02/2020
M/s. Dosti Realty Ltd. C.S. No. 2A/1168&4/116 of Matunga Division, Vidyalankar College Road, Antop Hills, Wadala East, Mumbai- 400037	Start Date of Analysis	03/02/2020
	End Date of Analysis	03/02/2020
	Sample Details	Ambient Air
	Location	Near Main Gate
Sample Collected By	Self	

Ambient Air Quality Monitoring

Sr. No.	Parameter	Result	Limits	Unit (s)	Standard Methods
1.	Ambient Temperature (Max/Min)	35/33		°C	
2.	Particulate Matter size less than 10-µm (PM_{10})	81.32	100	µg/m³	Gravimetric
3.	Particulate Matter size less than 2.5-µm ($PM_{2.5}$)	52.96	60	µg/m³	Gravimetric
4.	Sulphur Dioxide (SO_2)	14.7	80	µg/m³	Improved West & Gaeke
5.	Nitrogen Dioxide (NO_2)	47.8	80	µg/m³	Modified Jacob & Hochheister
6.	Carbon Monoxide (CO)	1.0	4	mg/m³	By Electro Chemical Sensor

Remark(s): All parameters are within the limit

AUTHORIZED SIGNATORY

Address: 8-A, Modiheight, opposite All India Radio, Ratu Road, Ranchi-834005

INSTITUTE FOR ENVIRONMENTAL MANAGEMENT
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An ISO 9001:2015, ISO 14001:2015, OHSAS 18001:2007 ORGANIZATION

TEST CERTIFICATE

Report No: IEM/2020-2021/02/16	Date of Report	04/02/2020
Client Name and Address:	Date of Sampling	03/02/2020
M/s. Dosti Realty Ltd. C.S. No. 2A/116&4/116 of Matunga Division, Vidyalankar College Road, Antop Hills, Wadala East, Mumbai- 400037	Start Date of Analysis	03/02/2020
	End Date of Analysis	03/02/2020
	Sample Detail:	Ambient Air
	Location	Near Construction Activity
Sample Collected By	Self	

Ambient Air Quality Monitoring

Sr. No.	Parameter	Result	Limits	Unit (s)	Standard Method:
1.	Ambient Temperature (Max/Min)	37/34		°C	
2.	Particulate Matter size less than 10-µm (PM_{10})	83.8	100	µg/m³	Gravimetric
3.	Particulate Matter size less than 2.5-µm ($PM_{2.5}$)	52.9	60	µg/m³	Gravimetric
4.	Sulphur Dioxide (SO_2)	19.2	80	µg/m³	Improved West & Gaeke
5.	Nitrogen Dioxide (NO_2)	49.8	.880	µg/m³	Modified Jacob & Hochheister
6.	Carbon Monoxide (CO)	1.1	4	mg/m³	By Electro Chemical Sensor

Remark(s): All parameters are within the limit

AUTHORIZED SIGNATORY

Address: 8-A, Modiheight, opposite All India Radio, Ratu Road, Ranchi-834005

INSTITUTE FOR ENVIRONMENTAL MANAGEMENT
An NABL Accredited Lab & Accredited by Jharkhand State Pollution Control Board
An ISO 9001:2015, ISO 14001:2015, OHSAS 18001:2007 ORGANIZATION

TEST CERTIFICATE		
REPORT No: IEM/2020-2021/02/17	Date of Report	10/02/2020
Client Name and Address:	Date of Sampling	03/02/2020
M/s. Dosti Realty Ltd. C.S. No. 2A/116&4/116 of Matunga Division, Vidyalankar College Road, Antop Hills, Wadala East, Mumbai- 400037	Start Date of Analysis:	06/02/2020
	End Date of Analysis:	08/02/2020
	Sample Details:	Water Sample
	Location	Project Site
Sample Collected By	Self	

Water Analysis Report

Sr. No.	Parameter	Result	Limits	Unit (s)	Standard Method:
1.	Electrical Conductivity	4120	NS	µmho/ cm	Indian Standards (IS) – 3025 (Part –14) - 1984 (1st Revision) (Reaffirmed - 1996)
2.	Color	4.1	5	Hazen	APHA 22nd Edition
3.	pH at 250C	7.29	6.5 – 8.5		IS:3025 Part 11-1983 (Reaff:2002)
4.	Nitrate as NO3	29.7	45	Mg/l	IS – 3025(Part – 34) 1988 Chromo tropic Acid method
5.	Nitrite as NO2	ND	NS	Mg/l	IS- 3025 (Part – 34 – 4)
6.	Phosphorous as Phosphate	0.52	NS	Mg/l	Standard M methods – APHA 22nd Ed. 4500 P.D.4- 154.
7.	Potassium	17.5	NS	Mg/l	Standard M methods – APHA 22ND ED 3500 – K 21st Ed B. 3 -87
8.	Calcium	46.33	75	Mg/l	Standard M methods – APHA 22nd Ed 3500 Ca – B. 3 – 67
9.	Magnesium	29.5	30	Mg/l	APHA 22nd Edition 2005 3500-Mg-B
10.	Carbonate	20.8	NS	Mg/l	IS – 3025 (Part –51) -2001- Calculation Method
11.	Bicarbonate	224	NS	Mg/l	IS – 3025 (Part –51) -2001- Calculation Method
12.	Total Hardness as CaCO3	164	300	Mg/l	Standard M methods – APHA 22nd Ed. 2340 C. 2- 44
13.	Total Alkalinity as CaCO3	156	200	Mg/l	IS:3025 Part 23-1984 (Reaff:2003)
14.	Chloride as Cl	111.9	250	Mg/l	IS:3025 Part 32-1988 (Reaff:2003)
15.	Sulphate as SO4	71.2	200	Mg/l	APHA 22nd Edition 4500-So_4^{2} E

Address: 8-A, Modiheight, opposite All India Radio, Ratu Road, Ranchi-834005

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An ISO 9001:2015, ISO 14001:2015, OHSAS 18001:2007 ORGANIZATION

16.	Fluoride	0.17	1	Mg/l	APHA 22ND ED, 4500-F-, D, 4-87 SPADNS Method.
17.	Boron	0.21	0.5	Mg/l	Standard Method: APHA 22ND ED 4500 B., Pg. no: 4-25.
18.	Total Dissolved Solids	401	500	Mg/l	IS:3025 Part 16-1984 (Reaff:2003)
Remark(s): All parameters are within the limit					

AUTHORIZED SIGNATORY

Address: 8-A, Modiheight, opposite All India Radio, Ratu Road, Ranchi-834005

INSTITUTE FOR ENVIRONMENTAL MANAGEMENT
An NABL Accredited Lab & Accredited by Jharkhand State Pollution Control Board
An ISO 9001:2015, ISO 14001:2015, OHSAS 18001:2007 ORGANIZATION

TEST CERTIFICATE

REPORT No: IEM/2020-21/02/18	Date of Report	04/02/2020
Client Name and Address:	Date of Sampling	03/02/2020
M/s. Dosti Realty Ltd. C.S. No. 2A/116&4/116 of Matunga Division, Vidyalankar College Road, Antop Hills, Wadala East, Mumbai- 400037	Start Date of Analysis	03/02/2020
	End Date of Analysis	03/02/2020
	Sample Details	Noise
	Location	Project Site
Sample Collected By	Self	

Noise Monitoring

Sr. No.	Location	Result				Unit (s)
		Day Time	Limits	Night Time	Limits	
1.	Entry/ Exit	76.6	55	43.9	45	dB
2.	Project Site	74.6	55	41.2	45	dB

Remark(s): During day time readings are above the limits

AUTHORIZED SIGNATORY

Address: 8-A, Modiheight, opposite All India Radio, Ratu Road, Ranchi-834005

INSTITUTE FOR ENVIRONMENTAL MANAGEMENT
An NABL Accredited Lab & Accredited by Jharkhand State Pollution Control Board
An ISO 9001:2015, ISO 14001:2015, OHSAS 18001:2007 ORGANIZATION

TEST CERTIFICATE		
REPORT No : IEM/2020-2021/02/19	Date of Report	10/02/2020
Client Name and Address:	Date of Sampling	03/02/2020
M/s. Dosti Realty Ltd. C.S. No. 2A/116&4/116 of Matunga Division, Vidyalankar College Road, Antop Hills, Wadala East, Mumbai- 400037	Start Date of Analysis:	06/02/2020
	End Date of Analysis:	08/02/2020
	Sample Detail:	Soil
	Location	Project Site
Sample Collected By	Self	

Soil Analysis Report

Sr. No.	Parameter	Result	Unit (s)	Standard Methods
1.	pH of 10% Solution	7.22	-	IS 2720 Part 26: 1987 (Reaff.2011)
2.	Texture	Loamy		
3.	Color	Brown		
4.	EC	252.61	µS/cm	IS 14767: 2000
5.	Bulk Density	1.75	Gm/cm^3	IS: 2720 (Part 29) 1975
6.	Organic Content	1.69	%	IS 2720 Part 22: 1972 (Reaff.2010)
7.	Water Retaining Capacity	50.18	%	IS 2720 Part 29
8.	Calcium as Ca	163.67	mg/100gm	EPA3050 B
9.	Chloride as Cl	147.7	mg/100 gm	Mercury (II) Thiocyanate Method
10.	Magnesium as Mg	78.3	mg/100gm	EPA3050 B
11.	Potassium as K	76.57	mg/kg	EPA3050 B
12.	Sodium as Na	141	mg/kg	EPA3050 B
13.	Sulphate as SO_4	31	mg/kg	IS2720 Part 27
14.	Copper as Cu	6.25	mg/kg	EPA3050 B
15.	Lead as Pb	<2	mg/kg	EPA3050 B
16.	Zinc as Zn	322	mg/kg	EPA3050 B
17.	Total Kjeldahl Nitrogen as N	2	%	IS 14684: 1999 (Reaff.2008)

Address: 8-A, Modiheight, opposite All India Radio, Ratu Road, Ranchi-834005

INSTITUTE FOR ENVIRONMENTAL MANAGEMENT
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18.	Total Phosphate as PO_4	0.86	mg/100gm	IS 10158- 1982 (Reaff. 2009)
19	Iron	489.6	mg/kg	IS 13922:1994

Remark(s): During day time readings are above the limits

AUTHORIZED SIGNATORY

Address: 8-A, Modiheight, opposite All India Radio, Ratu Road, Ranchi-834005

Annexure – 12 PUC Certificates

POLLUTION UNDER CONTROL CERTIFICATE
Issued By: THANE
Authorised by Motor Vehicles Department, Maharashtra

TEST RESULT : PASS
VALID TILL: 15/Jan/2021

Certificate Sl. No.:	MH00400880000278
Registration No.:	**MH46BB3495**
Chassis No.:	MA1PZ2JFKH6C46112
Engine No.:	JFH4C82744
Class of Vehicle:	Goods Carrier
Make:	MAHINDRA & MAHINDRA LIMITED
Model:	AAKN0239F01-002
Vehicle Category:	LIGHT GOODS VEHICLE
Engine Stroke(2/4):	
Date of Registration:	13/Jun/2017
Emission Norms:	BHARAT STAGE IV
Fuel:	DIESEL
Date of Testing:	16/Jan/2020

DIESEL DRIVEN VEHICLES
Certified that the vehicle conforms to the standards prescribed under rule 115(2) of CMV Rules 1989

FUEL	Light Absorption Coefficient (Permissible Limit)	Measured Value
DIESEL	1.62	1.12

Time of Testing: 16:29:08
Fee Charged: Rs.110.0

Auto Emission Testing Centre Code: MH0040088
Testing Centre Name: MAHAVIR ASSOCIATES
Centre Address: SHOP NO 4 SARAWSATI BLDG
Test Conducted By: GOPIJAIN

TEST RESULT FOR DIESEL VEHICLE

	IDLE RPM	MAX RPM	K_VALUE	OIL TEMP
TEST 1	550.0	1360.0	1.12	0.0
TEST 2	550.0	1410.0	1.12	0.0
TEST 3	550.0	1740.0	1.12	0.0
AVG	550.0	1503.33334	1.12	0.0

This is a computer generated certificate and does not require signature

POLLUTION UNDER CONTROL CERTIFICATE
Issued By: THANE
Authorised by Motor Vehicles Department, Maharashtra

TEST RESULT : PASS
VALID TILL: 12/Jul/2020

Certificate Sl. No.:	MH00400880000265
Registration No.:	**MH04EL2796**
Chassis No.:	MB1DTDJC59HYA4807
Engine No.:	YXH593481
Class of Vehicle:	Goods Carrier
Make:	ASHOK LEYLAND LTD
Model:	TAURUS 2516C/3-150*WB
Vehicle Category:	HEAVY GOODS VEHICLE
Engine Stroke(2/4):	
Date of Registration:	30/Apr/2010
Emission Norms:	BHARAT STAGE III
Fuel:	DIESEL
Date of Testing:	13/Jan/2020

DIESEL DRIVEN VEHICLES
Certified that the vehicle conforms to the standards prescribed under rule 115(2) of CMV Rules 1989

FUEL	Light Absorption Coefficient (Permissible Limit)	Measured Value
DIESEL	2.45	1.12334

Time of Testing: 16:57:54
Fee Charged: Rs.110.0

Auto Emission Testing Centre Code: MH0040088
Testing Centre Name: MAHAVIR ASSOCIATES
Centre Address: SHOP NO 4 SARAWSATI BLDG
Test Conducted By: GOPIJAIN

TEST RESULT FOR DIESEL VEHICLE

	IDLE RPM	MAX RPM	K_VALUE	OIL TEMP
TEST 1	870.0	790.0	1.13	0.0
TEST 2	400.0	1870.0	1.12	0.0
TEST 3	400.0	1840.0	1.12	0.0
AVG	556.66667	1500.0	1.12334	0.0

This is a computer generated certificate and does not require signature
Fuel Norms entered by PUC center MH0040088 manualy,Please visit RTO and correct norms

POLLUTION UNDER CONTROL CERTIFICATE
Issued By: THANE
Authorised by Motor Vehicles Department, Maharashtra

TEST RESULT : PASS
VALID TILL: 15/Jan/2021

Certificate Sl. No.:	MH00400880000276
Registration No.:	**MH46B0096**
Chassis No.:	1720781
Engine No.:	4H22951035719
Class of Vehicle:	Excavator (NT)
Make:	JCB INDIA LTD
Model:	JCB 3DX 2WD
Vehicle Category:	OTHER THAN MENTIONED ABOVE
Engine Stroke(2/4):	
Date of Registration:	11/Jan/2011
Emission Norms:	BHARAT STAGE III/IV
Fuel:	DIESEL
Date of Testing:	16/Jan/2020

DIESEL DRIVEN VEHICLES
Certified that the vehicle conforms to the standards prescribed under rule 115(2) of CMV Rules 1989

FUEL	Light Absorption Coefficient (Permissible Limit)	Measured Value
DIESEL	1.62	1.12

Time of Testing: 16:10:33
Fee Charged: Rs.110.0

Auto Emission Testing Centre Code: MH0040088
Testing Centre Name: MAHAVIR ASSOCIATES
Centre Address: SHOP NO 4 SARAWSATI BLDG
Test Conducted By: GOPIJAIN

TEST RESULT FOR DIESEL VEHICLE

	IDLE RPM	MAX RPM	K_VALUE	OIL TEMP
TEST 1	1150.0	1820.0	1.12	0.0
TEST 2	1150.0	1520.0	1.12	0.0
TEST 3	0.0	1820.0	1.12	0.0
AVG	766.66667	1720.0	1.12	0.0

This is a computer generated certificate and does not require signature
Fuel Norms entered by PUC center MH0040088 manualy,Please visit RTO and correct norms

POLLUTION UNDER CONTROL CERTIFICATE
Issued By: THANE
Authorised by Motor Vehicles Department, Maharashtra

TEST RESULT : PASS
VALID TILL: 15/Jan/2021

Certificate Sl. No.:	MH00400880000278
Registration No.:	**MH46BB3495**
Chassis No.:	MA1PZ2JFKH6C46112
Engine No.:	JFH4C82744
Class of Vehicle:	Goods Carrier
Make:	MAHINDRA & MAHINDRA LIMITED
Model:	AAKN0239F01-002
Vehicle Category:	LIGHT GOODS VEHICLE
Engine Stroke(2/4):	
Date of Registration:	13/Jun/2017
Emission Norms:	BHARAT STAGE IV
Fuel:	DIESEL
Date of Testing:	16/Jan/2020

DIESEL DRIVEN VEHICLES
Certified that the vehicle conforms to the standards prescribed under rule 115(2) of CMV Rules 1989

FUEL	Light Absorption Coefficient (Permissible Limit)	Measured Value
DIESEL	1.62	1.12

Time of Testing: 16:29:08
Fee Charged: Rs.110.0

Auto Emission Testing Centre Code: MH0040088
Testing Centre Name: MAHAVIR ASSOCIATES
Centre Address: SHOP NO 4 SARAWSATI BLDG
Test Conducted By: GOPIJAIN

TEST RESULT FOR DIESEL VEHICLE

	IDLE RPM	MAX RPM	K_VALUE	OIL TEMP
TEST 1	550.0	1360.0	1.12	0.0
TEST 2	550.0	1410.0	1.12	0.0
TEST 3	550.0	1740.0	1.12	0.0
AVG	550.0	1503.33334	1.12	0.0

This is a computer generated certificate and does not require signature

POLLUTION UNDER CONTROL CERTIFICATE
Issued By: THANE
Authorised by Motor Vehicles Department, Maharashtra

TEST RESULT : PASS
VALID TILL: 15/Jan/2021

Certificate Sl. No.:	MH00400880000280
Registration No.:	**MH46F0841**
Chassis No.:	MAT448085 3B02891
Engine No.:	B591803111B62987940
Class of Vehicle:	Goods Carrier
Make:	TATA MOTORS LTD
Model:	LPK 2518 TC BSIII
Vehicle Category:	HEAVY GOODS VEHICLE
Engine Stroke(2/4):	
Date of Registration:	27/Apr/2011
Emission Norms:	BHARAT STAGE III/IV
Fuel:	DIESEL
Date of Testing:	16/Jan/2020

DIESEL DRIVEN VEHICLES
Certified that the vehicle conforms to the standards prescribed under rule 115(2) of CMV Rules 1989

FUEL	Light Absorption Coefficient (Permissible Limit)	Measured Value
DIESEL	1.62	1.11334

Time of Testing: 16:40:00
Fee Charged: Rs.110.0

Auto Emission Testing Centre Code: MH0040088
Testing Centre Name: MAHAVIR ASSOCIATES
Centre Address: SHOP NO 4 SARAWSATI BLDG
Test Conducted By: GOPIJAIN

TEST RESULT FOR DIESEL VEHICLE

	IDLE RPM	MAX RPM	K_VALUE	OIL TEMP
TEST 1	550.0	2950.0	1.11	0.0
TEST 2	540.0	2150.0	1.11	0.0
TEST 3	550.0	1020.0	1.12	0.0
AVG	546.66667	2040.0	1.11334	0.0

This is a computer generated certificate and does not require signature
Fuel Norms entered by PUC center MH0040088 manualy,Please visit RTO and correct norms

POLLUTION UNDER CONTROL CERTIFICATE
Issued By: THANE
Authorised by Motor Vehicles Department, Maharashtra

TEST RESULT : PASS
VALID TILL: 06/Jun/2020

Certificate Sl. No.:	MH00400880000149
Registration No.:	**MH46F0842**
Chassis No.:	MAT448085B2B02974
Engine No.:	B591803111B62989441
Class of Vehicle:	Goods Carrier
Make:	TATA MOTORS LTD
Model:	LPK 2518 38 BSIII
Vehicle Category:	HEAVY GOODS VEHICLE
Engine Stroke(2/4):	
Date of Registration:	27/Apr/2011
Emission Norms:	BHARAT STAGE III
Fuel:	DIESEL
Date of Testing:	07/Dec/2019

DIESEL DRIVEN VEHICLES
Certified that the vehicle conforms to the standards prescribed under rule 115(2) of CMV Rules 1989

FUEL	Light Absorption Coefficient (Permissible Limit)	Measured Value
DIESEL	2.45	1.19667

Time of Testing: 16:24:19
Fee Charged: Rs.110.0

Auto Emission Testing Centre Code: MH0040088
Testing Centre Name: MAHAVIR ASSOCIATES
Centre Address: SHOP NO 4 SARAWSATI BLDG
Test Conducted By: GOPIJAIN

TEST RESULT FOR DIESEL VEHICLE

	IDLE RPM	MAX RPM	K_VALUE	OIL TEMP
TEST 1	790.0	920.0	1.28	0.0
TEST 2	730.0	1280.0	1.15	0.0
TEST 3	780.0	920.0	1.16	0.0
AVG	766.66667	1040.0	1.19667	0.0

This is a computer generated certificate and does not require signature
Fuel Norms entered by PUC center MH0040088 manualy,Please visit RTO and correct norms

Annexure 13: Consent to Operate to RMC plant.

MAHARASHTRA POLLUTION CONTROL BOARD

Phone : 022-25505928
Fax : 022-25505926
Email : sromumbai1@mpcb.gov.in
Visit At : http://www.mpcb.gov.in

Raikar Chambers, A- Wing, 216, 2nd floor,
Deonar Gaon Road, Near Jain Mandir,
Govandi (E), Mumbai - 400088

Green/S.S.I

Consent No: [redacted] **Date: 18/04/2018**

Consent to Operate under Section 26 of the Water (Prevention & Control of Pollution) Act, 1974 & under Section 21 of the Air (Prevention & Control of Pollution) Act, 1981 and Authorization / Renewal of Authorization under Rule 5 of the Hazardous Wastes (Management, Handling & Transboundry Movement) Rules 2008

[To be referred as Water Act, Air Act and HW (M&H) Rules respectively].

.....

CONSENT is hereby granted to

M/s. Dosti Realty Limited,
(RMC Unit) C.S.No.2A/116 &4/116 of Salt Pan Div.,
Vidyalankar Collage Road, Antop Hill,
Wadala (E), Mumbai-400008

located in the area declared under the provisions of the Water Act, Air act and Authorization under the provisions of HW(M&H) Rules and amendments thereto subject to the provisions of the Act and the Rules and the Orders that may be made further and subject to the following terms and conditions:

1. **The Consent to Operate is granted for a period up to: 31/03/2024.**
2. **The Consent is valid for the manufacture of –**

Sr. No.	Product Name	Maximum Quantity	UOM
1.	Ready Mix Concrete	5000	M^3/M

3. CONDITIONS UNDER WATER ACT:

(i) The daily quantity of trade effluent from the factory shall be **0.00 M^3**.

(ii) The daily quantity of sewage effluent from the factory shall not exceed **1.00 M^3**.

(iii) **Trade Effluent :NIL**

(iv) **Trade Effluent Disposal:** The treated effluent is recycled into the process again.

(v) **Sewage Effluent Treatment:** The applicant shall provide comprehensive treatment system as is warranted with reference to influent quality and operate and maintain the same continuously so as to achieve the quality of treated effluent to the following standards.

(1)	Suspended Solids	Not to exceed	100	mg/l.
(2)	BOD 3 days 27o C.	Not to exceed	100	mg/l.

(vi) **Sewage Effluent Disposal:** The treated domestic effluent shall be soaked in a soak pit, which shall be got cleaned periodically. Overflow, if any, shall be used on land for gardening / plantation only.

Maharashtra Pollution Control Board Sub Regional Office Mumbai

MPCB-CONSENT-0000045869 G2C

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(vii) **Non-Hazardous Solid Wastes:**

Sr. No.	Type Of Waste	Quantity	UOM	Treatment	Disposal
1	Aggregates	50.00	MT/M	Disposed in low lying area approved by MCGM	----

(viii)**Other Conditions:** Industry should monitor effluent quality regularly.

4. **The applicant shall comply with the provisions of the Water (Prevention & Control of Pollution) Cess Act, 1977 (to be referred as Cess Act) and amendment Rules, 2003 there under**

The daily water consumption for the following categories is as under:

(i) Domestic purpose ... 02.00 CMD
(ii) Water gets Polluted & Pollutants are Biodegradable(Mixing) ... 28.00 CMD
(iii) Water gets Polluted, Pollutants are not Biodegradable & Toxic ... 00.00 CMD
(iv) Industrial Washing, spraying in mine pits or boiler feed ... 00.00 CMD

The applicant shall regularly submit to the Board the returns of water consumption in the prescribed form and pay the Cess as specified under Section 3 of the said Act.

4. **CONDITIONS UNDER AIR ACT :**

(i) The applicant shall install a comprehensive control system consisting of control equipment as is warranted with reference to generation of emission and operate and maintain the same continuously so as to achieve the level of pollutants to the following standards:

5. **Control Equipment:**

a) Air Pollution Control;

(i) In-house measures;

1. All material transfer points should be covered
2. The dust containment system shall be provided incorporating either of the following
   - Barricading all around the periphery of the plot boundary of height Minimum 20 feet or 5 feet above free fall air emission area, whichever is higher with tin sheets. Same may extend above with netlon clothing whenever required
   - Water sprinkling/Chemical dust stabilizing agent spraying system along the periphery inside the premises of RMC.
3. Internal work area shall be, cement concreted/Asphalted.
4. Daily cleaning / Removal of dust accumulation inside the plant (dry/wet) shall be carry out, with industrial vacuum cleaner.
5. Two level tyre washing facility shall be provided at entry and exit points, for transit mixture vehicle.
6. Industry has to be install fogger system, to suppress dust emissions inside RMC premises.

(ii) Raw material storage & handling;

1. Storage silos of cement & fly-ash shall be equipped with adequate capacity of dust Collection system such as multi- cyclone followed by bag house assembly.
2. Handling of Cement, sand, fly ash and aggregates shall be carried out with mechanical closed system only.
3. Manual operations shall be permitted only in a closed shed, equipped with dust control system at the loading point as well as roof top secondary dust control system.
4. All Conveyor belts of Sand, aggregate shall be covered with tin sheets and at transfer points dust collection system to be installed to avoid secondary fugitive emissions.
5. Mixing section of cement, aggregate & sand shall be equipped with adequate capacity dust collection system, such as multi-cyclone followed by bag house, so as to limit dust emissions.
6. Storage area of sand & aggregate shall be equipped with roof top water sprinkler system.
7. The air pollution control devices shall be operated regularly.
8. Alternative power supply system should cover both the production and Air pollution control system.

6. Standards for Air Emission

Ambient air quality at a distance of 10 mtr from source OR the plant Boundary, whichever is nearer, shall meet the following standards

Particulate Matter PM_{10}	**Not to Exceed**	**100**	**$\mu g/m^3$**
Particulate Matter $PM_{2.5}$	**Not to Exceed**	**60**	**$\mu g/m^3$**

7. Standards for Stack Emissions:

(i) **The applicant shall observe the following fuel pattern:-**

Sr. No.	Type Of Fuel	Quantity	UOM
1.	--	--	--

(ii) **The applicant shall erect the chimney(s) of the following specifications:-**

Sr. No.	Chimney Attached To	Height in mt
1.	--	--

(iii) The applicant shall provide ports in the chimney/(s) and facilities such as ladder, platform etc. for monitoring the air emissions and the same shall be open for inspection to/and for use of the Board's Staff. The chimney(s) vents attached to various sources of emission shall be designated by numbers such as S-1, S-2, etc. and these shall be painted/ displayed to facilitate identification.

(iv) The industry shall take adequate measures for control of noise levels from its own sources within the premises so as to maintain ambient air quality standard in respect of noise to less than 75 dB(A) during day time and 70 dB(A) during night time. Day time is reckoned in between 6 a.m. and 10 p.m. and night time is reckoned between 10 p.m. and 6 a.m.

(v) **Other Conditions:**

1) The industry should not cause any nuisance in surrounding area.
2) The industry should monitor stack emissions and ambient air quality regularly.

8. CONDITIONS UNDER HAZARDOUS WASTE (MANAGEMENT, HANDLING & TRANSBOUNDRY MOVEMENT) RULES, 2008:

(i) The Industry shall handle hazardous wastes as specified below.

Sr. No.	Type Of Waste	Quantity	UOM	Disposal
NIL				

(ii) Treatment: - NIL

1. The authorization is hereby granted to operate a facility for collection, storage, transport & disposal of hazardous waste.
2. The industry should comply with the Hazardous Waste (M&H) Rules, 2003.

a. Whenever due to any accident or other unforeseen act or even, such emissions occur or is apprehended to occur in excess of standards laid down, such information shall be forthwith Reported to Board, concerned Police Station, office of Directorate of Health Services, Department of Explosives, Inspectorate of Factories and Local Body. In case of failure of pollution control equipment, the production process connected to it shall be stopped.

b. The unit has to display and maintain the data online outside the factory main gate in Marathi & English both on a 6'x4' display board in the manner and the report of the compliance along with photograph shall be submitted to this office & concerned Regional Office/ Sub Regional Office.

c. It shall be ensured that the Hazardous waste is handled, managed & disposed of strictly in accordance with the Hazardous Waste (Management & Handling) Rules, 1989 as amended on 2003 and shown & submitted to the Board as & when asked for.

9. Industry shall comply with following additional conditions:

i. The applicant shall maintain good housekeeping and take adequate measures for control of pollution from all sources so as not to cause nuisance to surrounding area / inhabitants.

ii. Solid waste – The non hazardous solid waste arising in the factory premises, sweepings, etc., be disposed of scientifically so as not to cause any nuisance / pollution. The applicant shall take necessary permissions from civic authorities for disposal to dumping ground.

iii. The applicant shall provide for an alternate electric power source sufficient to operate all pollution control facilities installed by the applicant to maintain compliance with the terms and conditions of the consent. In the absence, the applicant shall stop, reduce or otherwise, control production to abide by terms & conditions of this consent regarding pollution levels.

iv. The applicant shall not change or alter quantity, quality, the rate of discharge, temperature or the mode of the effluent / emissions or hazardous wastes or control equipment provided for without previous written permission of the Board.

v. The applicant shall provide facility for collection of environmental samples and samples of trade and sewage effluents, air emissions and hazardous wastes to the Board staff at the terminal or designated points and shall pay to the Board for the services rendered in this behalf.

vi. The applicant shall make an application for renewal of the consent at least 60 days before the date of the expiry of the consent.

vii. The firm shall submit to this office, the 30th day of September every year, the Environmental Statement Report for the financial year ending 31st March in the prescribed Form-V as pre the provisions of rule 14 of the Environment (Protection) (Second Amendment) Rules, 1992.

viii. As inspection book shall be opened and made available to the Board's officers during their visit to the applicant.

ix. The applicant shall install a separate electric meter showing the consumption of energy for operation of domestic and industrial effluent treatment plants and air pollution control system. A register showing consumption of chemicals used for treatment shall be maintained.

x. Separate drainage system shall be provided for collection of trade and sewage effluents. Terminal manholes shall be provided at the end of collection system with arrangement for measuring the flow. No effluent shall be admitted in the pipes / sewers down- stream of the terminal manholes. No effluent shall find its way other than in designed and provided collection System.

xi. Neither storm water nor discharge from other premises shall be allowed to mix with the effluents from the factory

10. **The consent is issued subject to direction issued by CPCB under section 18(1) (b) of Water (Prevention and Control of Pollution) Act, 1974, regarding classification of Industries dated 07th March 2016.**

11. **Operation of RMC plant shall be in day time only. The Day time is Reckoned in between 6 a.m. and 10 p.m. i.e from sun rise to sunset.**

12. **The Board may make the standards stringent for the RMC / batching Plants located within Corporation areas.**

MPCB-CONSENT-0000045869 [redacted]

13. The consent is issued as per the undertaking submitted by M/s. Dosti Realty Limited for captive use only.

14. The Capital investment of the industry is Rs. 221Lakhs.

15. The Board reserve right to revoke, amend or suspend the consent granted.

For and on behalf of the
Maharashtra Pollution Control Board

(Sanjay R. Bhosale)
Sub Regional Officer, Mumbai-I

To,
M/s. Dosti Realty Limited,
(RMC Unit) C.S.No.2A/116 &4/116 of Salt Pan Div.,
Vidyalankar Collage Road, Antop Hill,
Wadala (E), Mumbai-400008

Received Consent fee of –

Sr. No.	Amount(Rs.)	DD. No.	Date	Drawn On
1	30000/-	7606605(NEFT)	31.03.2018	HDFC Bank

Copy Submitted to:-
1. Chief Account officer, MPCB, Sion, Mumbai-22.,
2. Regional Officer, MPCB, Mumbai.

MPCB-CONSENT-0000045869 226

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Annexure 14: Structural Stability Certificate

JCN/12-1108/2018-2019/0193 April 23, 2018

CERTIFICATE

TO WHOMSOEVER IT MAY CONCERN

Subject: Proposed residential building on plot bearing C.S. No. 2A/116 & 4/116 of Salt Pan Div 4/356 Matunga Div, Antop Hill, Mumbai for M/s. Dosti Realty Ltd.

This is to certify that the foundation of the captioned building has been designed for three basements plus ground floor plus four podiums car park plus one still floor plus one service floor plus two fire check floor plus forty four upper floors (35 + 9(Provision)).

I further certify that my Structural Design is based on following Indian Standard Codes of Practice and shall render the buildings safe and stable.

1. IS - 456 – 2000 – Code of Practice for Plain & Reinforced Concrete Structure.
2. IS – 875 – 1987 – Code of Practice for Design Loads.
3. IS – 1893 – 2002 – Criteria for Earthquake Resistant Design of Structure.

ACHYUT WAIVE
B. E., F. I. E.
Structural Engineer
M C G B Reg. No STR/W/10
For & On behalf of
JW Consultants LLP

JW CONSULTANTS LLP
REGISTERED OFFICE : Sai Radhe, Office No. 201, 2nd floor, Behind Hotel Sheraton Grand, 100-101, Kennedy Road, Pune 411001.
P : 91-2066449100
MUMBAI OFFICE : Ruparel Iris, 2nd floor, Near Bigbazar, Tulsi Pipe Rd., Matunga West, Mumbai - 400016. T P : +91-(0)22 2439 7400 / 2439 7401
www.jwconsultants.in

Annexure – 15 Fire NOC

Office of the Chief Fire Officer, Mumbai Fire Brigade, Byculla Command Center Building, 1st Floor, Bangrao Jagtap Marg, Byculla, Mumbai - 400 008.

MUNICIPAL CORPORATION OF GREATER MUMBAI
MUMBAI FIRE BRIGADE

No. FB/HRC/RII/09
Date: 12/06/2017

Sub: Revised N.O.C stipulating fire protection and firefighting requirements for amendments for the proposed High rise Residential building under DCR 33(24) on plot bearing C.S. No. 2A/116 & 4/116 of Salt Pan Division & 4/356 of Matunga Division, F/N Ward, Antop Hill, Mumbai.

Ref: i) Letter dated 28/12/16 & 17/5/17 from Ramnani & Associates, Architects.
ii) MFB No.
iii) MFB No. HRC/RII/ 09 dated 17/5/17.

Ch. Eng. (D.P.):

In this case, NOC by this office was issued under No. FB/HRC/CITY/44 dated 31.03.2015 for the construction of High rise Residential building comprising of common three level basement (-15.65 mtrs), Ground floor on stilts, 1st to 4th podium parking floors (12.15 M) + 5th floor as extra RG floor (16.35 mtrs) + Stilt with transfer girder (having height of 7.20 mtrs) . Thereafter building is divided into four wings, i.e. Wing A, Wing B, Wing C & EWS wing. While Wing A, Wing B and Wing C are having 1st to 38th upper residential floors (part 38th floor in case of wing B) with a total height of 144.95 mtrs. from general ground level up to terrace level with fire check floor in between 15th& 16th floor at the height 70.05 mtrs. from general ground level and between 36th-37th floor at the height of 136.95 mtrs, and fourth wing i.e. EWS wing is having 1st to 9th upper residential floors with total height of 49.65 mtrs. from general ground level up to the terrace level.

Now the Architect has submitted the amended plans & proposed the following amendments –

a) Now Architect proposed minor changes in basement level (-15.40 mtrs) as shown on the plans.
b) Now Architect proposed to delete the EWS Wing.
c) Now Architect proposed two additional Wings as shown on the plans.
d) Now Architect proposed additional floors from 38th to 45th floors thereby increased the height of the building from 136.45 mtrs to 179.675 mtrs as shown on the plans.
e) Due to above mentioned amendments the architect has now proposed construction of High rise Residential building comprising of common three level basement (-15.40 mtrs), Ground floor on stilts, 1st to 4th podium parking floors (16.775 M) + 5th podium floor as extra RG floor (+21.725mtrs) + Stilt with transfer girder (Height of 5.850 mtrs) . Thereafter building is divided into five wings, i.e. Wing A, Wing B, Wing C, Wing D & Wing E, each wing having 1st to 45th upper residential floors with a total height of 179.675mtrs. from general ground level up to terrace level with fire check floor in between 12th floor and 13th floor at the height 70.475mtrs. from general ground level and 2nd fire check floor between 33th&34th floor at the height of 139.475mtrs. measured from general ground level up to the terrace level as shown on the plans.

Basement : The proposed buildings having three level common basements (-15.40 M) which will be mainly used for horizontal HMV/LMV parking accessible by 12.00

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mtrs., wide ramp. Basement having light & ventilation mechanically as well as naturally through ventilation cut out as shown on the plan.

Podiums/ Car Parking Floors: 1st to 4thlevel podiums will be used for horizontal car parking. 5th podium will be used swimming pool, kids pool, Gents and Ladies Spa with changing rooms. Podiums will be accessible by way of 9.00mtrs. wide two way ramp leading from ground up to 5th podium.

OPERATIONAL AREA FOR FIRE FIGHTING:

Architect has proposed operational area for fire fighting at Fifth podium floor for which access is provided through 9.00mtrs. wide two way ramp leading from ground to 5th podium with more than15mtrs. wide turning circle. The 5th podium & ramp are designed suitably to bear the load of fire engines weighing up to 48 m. tones each with a point load of 10 kgs./sq. cms. An underpass having width of 12.00 mtrs.and height clearance of more than 6.00 mtrs.is provided for fire appliances in between B&C wing as well as D&E wing, as shown on the plan.

THE FLOOR-WISE USER OF THE BUILDING ARE AS UNDER:

Floors	Users				
3rd level common basement (-15.40)	Horizontal LMV PPL parking accessible by 12mtrs. Wide ramp, water tanks and Pump rooms				
2nd level common basement (-11.80)	Partly LMV PPL parking and partly HMV PPL parking accessible by 12mtrs. Wide wide two way ramp				
1st level common basement (-5.60)	HMV PPL parking accessible by 12mtrs. Wide wide two way ramp, BMS and Fire control room for MCGM.				
Ground level	Stilt for LMV/HMV parking, Driver Rest rooms, Meter Panel for PPL parking, Fire control rooms (5 Nos.), D.G. sets separate for MCGM and residential, Electric sub station separate for MCGM and residential, Squash courts, Tennis area				
1stto 4th common podium floor	Horizontal car parking accessible by 9.00mtrs. wide two way ramp				
5th common podium with stilt having height of 5.850mtrs.	swimming pool (Open to sky) , kids pool, Ladies/gents spa with changing rooms + RG + entrance Lobby for club house				
Club House level	Entrance Lobby, Yoga room + Banquet				
WINGS	**Wing A**	**Wing B**	**Wing C**	**Wing D**	**Wing E**
2nd to 7th, 9th to 14th, 16th to 21st, 23rd to 28th, 30th to 35th, 37th to 42nd 44th and 45th floor	04 flats on each floor	06 flats on each floor	04 flats on each floor	04 flats on each floor	04 flats on each floor
1st, 8th, 15th, 22nd, 29thand 36th floor	03 flats on each floor + refuge area	04 flats on each floor + refuge area	03 flats on each floor + refuge area	03 flats on each floor + refuge area	03 flats on each floor + refuge area
WINGS	**Wing A**	**Wing B**	**Wing C**	**Wing D**	**Wing E**
43rd floor	04 flats +	05 flats +	03 flats +	03 flats +	04 flats +

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	refuge area	refuge area	refuge area	refuge area	refuge area
Terrace	Open to sky (to be treated as refuge area)				

Refuge areas in A, B, C, D and E wings are provided as under;

Refuge area	Wings	Refuge area in sq. mtrs.		At the height from ground level in mtrs.
		Required	Provided	
1st habitable floor	Wing 'A'	114.90 sqm.	114.90 sqm.	32.075 mtrs.
	Wing 'B'	115.59 sqm.	138.85 sqm.	
	Wing 'C'	78.71 sqm.	78.71 sqm.	
	Wing 'D'	101.09 sqm.	101.09 sqm.	
	Wing 'E'	156.09 sqm.	169.29 sqm.	
8th floor	Wing 'A'	114.90 sqm.	114.90 sqm.	54.475mtrs.
	Wing 'B'	115.59 sqm.	138.85 sqm.	
	Wing 'C'	78.71 sqm.	78.71 sqm.	
	Wing 'D'	101.09 sqm.	101.09 sqm.	
	Wing 'E'	156.09 sqm.	169.29 sqm.	
15th floor	Wing 'A'	114.90 sqm.	114.90 sqm.	78.675 mtrs.
	Wing 'B'	115.59sqm.	138.85 sqm.	
	Wing 'C'	78.71 sqm.	78.71 sqm.	
	Wing 'D'	101.09 sqm.	101.09 sqm.	
	Wing 'E'	156.09 sqm.	169.29 sqm.	
22nd floor	Wing 'A'	114.90 sqm.	114.90 sqm.	101.075 mtrs.
	Wing 'B'	115.59sqm.	138.85 sqm.	
	Wing 'C'	78.71 sqm.	78.71 sqm.	
	Wing 'D'	101.09 sqm.	101.09 sqm.	
	Wing 'E'	156.09 sqm.	169.29 sqm.	
29th floor	Wing 'A'	114.90 sqm.	114.90 sqm.	123.475 mtrs.
	Wing 'B'	115.59sqm.	138.85 sqm.	
	Wing 'C'	78.71 sqm.	78.71 sqm.	
	Wing 'D'	101.09 sqm.	101.09 sqm.	
	Wing 'E'	156.09 sqm.	169.29 sqm.	
36th floor	Wing 'A'	114.90 sqm.	114.90sqm.	147.675 mtrs.
	Wing 'B'	115.59sqm.	138.85 sqm.	
	Wing 'C'	78.71 sqm.	78.71 sqm.	
	Wing 'D'	101.09 sqm.	101.09 sqm.	
	Wing 'E'	156.09 sqm.	169.29 sqm.	
43rd floor	Wing 'A'	48.96 sqm.	50.75 sqm.	170.675 mtrs.
	Wing 'B'	48.96sqm.	51.84 sqm.	
	Wing 'C'	33.43 sqm.	63.54 sqm.	
	Wing 'D'	42.98 sqm.	71.05 sqm.	
	Wing 'E'	67.00 sqm.	74.47 sqm.	
Terrace of all the five wings will be treated as refuge area .				
Excess refuge area beyond 4% shall be counted in FSI.				

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THE DETAILS OF RAMPS :

No. of rams	Width	Details
1No.	9.00 mtrs.	Leading from ground to 5th podium level with more than 13.00 mtrs. wide turning circle for Fire engine
1 No.	12.00 mtrs.	Leading from ground to 3rd level basement
On the 5th podium 9.00mtrs. wide ramp is to be designed suitably to bear the load of fire engines weighing up to 48 m. tones each with a point load of 10 kgs./sq. cms. A certificate to that effect issued by the Structural engineer shall be submitted at the time of N.O.C. for occupation.		

Details of Fire Check Floor : (for each wing i.e. A, B, C, D and E)

Floor	At the height from ground level
In between 12th floor and 13th Service floor	70.475 mtrs.
In between 33th &34th floor	139.475 mtrs.

Details of Service floor: (for each wing i.e. A, B, C, D and E)

Floor	At the height from ground level
In between Transfer girder floor and 1st floor	30.275 mtrs.

ACCESS:

The building abuts on 18.30 mtrs. wide Vidyalankar Road on South side. Architect has proposed 9.00mtrs. wide ramp leading from ground to 5th podium floor, with more than 15mtrs. wide turning circle. Required open spaces are available at fifth podium level for maneuvering & fire fighting for the Fire Engine.

OPEN SPACES AROUND EACH WING ARE AS UNDER:

Wing A:

Side	Open space
North	12.20 mtrs. to 13.41mtrs.
South	111.15mtrs.
East	11.93mtrs.
West	Annexed to Wing B

Wing B:

Side	Open space
North	11.98mtrs. to 13.31mtrs.
South	Annexed to Wing C and underpass for fire engines
East	Annexed to Wing A
West	14.25mtrs.

Wing C:

Side	Open space
North	Annexed to Wing B
South	Annexed to Wing D
East	54.95mtrs.
West	16.15mtrs.

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Wing D:

Side	Open space
North	Annexed to Wing C
South	Annexed to Wing E
East	49.58mtrs.
West	16.15mtrs.

Wing E:

Side	Open space
North	Annexed to Wing D
South	10.85 mtrs. to 11.14 mtrs. (At ground floor)
East	54.49mtrs.
West	16.15mtrs.

THE DETAILS OF STAIRCASES FOR EACH WING: (Wing A,B,C& D)

Profile of Staircase	Width	Nos. of staircases
Leading from ground to terrace level .	2.00 mtrs. each	02 Nos. for each wing
(Wing E)		
Leading from 3rd basement to terrace level.	2.00 mtrs	01 No.
Leading from Transfer girder level to terrace level	2.00 mtrs	01 No.
The proposed staircases in each wing as shown in plans are enclosed type. Out of the two staircases, one staircase in each wing is externally located & adequately ventilated to outside air. The second staircase in each wing is ventilated through open to sky chowk and will be of pressurized type. The staircase of Wing E is diverted at ground floor for the entry to basements with smoke check lobby at each basement level.		

The details ofStaircases: (Common)

Profile of Staircase	Width	Nos. of staircases
Leading from 3rd basement to ground level by diverting on ground floor.	1.50 mtrs.	08 Nos.
Leading from ground floor to 5th podium	1.50 mtrs.	05 Nos.
Leading from 5th podium to Club House	1.50 mtrs.	01 No.
The proposed staircases as shown in plans are enclosed type and are externally located & adequately ventilated to outside air, with smoke check lobby for basement.		

The details of Lifts:(Wing A, B, C, D and E)

Lift type	Profile	Nos. of lifts
Passenger	Leading from 2nd basement to top floor	05 Nos.
Two lifts in each wing within the building will be converted in to fire lift. The lift lobby at each floor level is directly ventilated to outside air as shown in the plan.		

The details of Lifts:(Common)

Lift type	Profile	Nos. of lifts
Passenger	Leading from ground to 5th podium floor	08 Nos.
Passenger	Leading from ground to 3rd basement	03 Nos.
Passenger	Leading from 5th Podium to Club House	01 No.
The lift lobby at each floor level is directly ventilated to outside air as shown in the plan.		

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The proposal has been considered favorably in view of the facts that:

i) The proposal falls under section 33(24) of D.C.R.1991.
ii) The party is already holding NOC of this office issued under No. FB/HRC/CITY/44 dated 31.03.2015.
iii) The Architect has given his hardship & requirement of parking at basement level of -15.40 mtrs. is considered by this Department subjected to approval by Hon'ble M.C.
iv) Architect has proposed operational area for firefighting is at 5th podium floor for which access is provided through 9.00 mtrs. wide ramp with turning circle of more than 15mtrs. The 5th podium &9.00mtrs. wide ramp is to be designed suitably to bear the load of fire engines weighing up to 48 m. tones each with a point load of 10 kgs./sq. cms.
v) Architect has agreed to provide natural as well as mechanical light and ventilation to three level basement.
vi) The Automatic sprinkler system shall be provided in entire building including each habitable room of each flat of each wing, in lift lobby & common corridor at each floor level of each wing and horizontal car parking area at three level basement, stilt on ground, 1st to 4th podium floors.
vii) Automatic smoke detection system shall be provided in lift lobby & common corridor at each floor level of each wing, & lift machine room of each wing.
viii) During construction stage and prior to final occupation party agreed to comply with additional requirements stipulated by Mumbai Fire Brigade Officer if any in future.

In view of above, as far as this department is concerned there is no objection for the above mentioned amendments from fire safety point of view for the construction of High rise Residential building comprising of common three level basement (-15.40 mtrs), Ground floor on stilts, 1st to 4th podium parking floors (16.775 M) + 5th podium floor as RG floor (21.725mtrs) + Stilt with transfer girder (having height of 5.85mtrs) . Thereafter building is divided into five wings, i.e. Wing A, Wing B, Wing C, Wing D & Wing E, each wing having 1st to 45th upper residential floors with a total height of 179.675mtrs. from general ground level up to terrace level with fire check floor in between 12th floor and 13th floor at the height 70.475mtrs. from general ground level and 2nd fire check floor between 33th-34th floor at the height of 139.475mtrs. measured from general ground level up to the terrace level, as per the details shown on the enclosed plans, signed in token of approval, subject to satisfactory compliance of the following requirements:

1) The requirements stipulated earlier vide his office NOC issued under No. FB/HRC/CITY/44 dated 31.03.2015 shall be treated as cancelled.

2) The Architect proposed major changes in the planning of earlier approved plans therefore revised fire protection &fire fighting requirements are stipulated below.

3) ACCESS:
i) All access & fire tender access should be free of encumbrances.
ii) No compound wall shall be construct on road side. Chain link shall be provided.

4) COURTYARDS/OPEN SPACES: (Each wing)
i) The entire open spaces shall be sufficiently hardened to bear the weight of fire engine weighing up to 48 M.T. each with a point load of 10 kgs/sq. cm.

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ii) All the courtyards shall be in one plane and mandatory open space shall be clear of any obstructions including tree.
iii) Courtyards around the building shall be maintained free from encumbrances / encroachments.

5) **STAIRCASE: (Each wing)**
i) The flight width of staircases shall be maintained (not less than 2.00 mtrs) as shown in the enclosed plans.
ii) The layout of staircase shall be enclosed type as shown in the plan throughout its height and shall be approached (gained) at each floor level at least two hours fire resistant self-closing door (45 mm. thickness) placed in the enclosed wall of the staircase.
iii) Externally located staircases adequately ventilated to outside air.
iv) Open-able sashes or R.C.C. grills with clear opening of not less than 0.5 sq. mtrs. per landing on the external wall of the staircase shall be provided.

The terrace door manner as follows:
I) The top of portion of the doors shall be provided with louvers.
II) The single latch lock shall be installed from the terrace side at the height of not more than one mtr.
III) The glass front of 6 inch diameter with the breakable glass shall be provided just above the single latch lock, so as to open the latch in case of an emergency by breaking glass.
IV) The door shall either be fitted with magnetic lock or shall be synchronize with fire detection and alarm system.

6) **CORRIDOR / LIFT LOBBY : (Each wing)**
i) Corridor / lift lobby at each floor level shall be naturally ventilated as shown in plan.
ii) The common corridor / lift lobby at each floor level shall be kept free from obstructions at all times.
iii) Self-glowing/fluorescent exit signs in green color shall be provided showing the means of escape for entire building.
iv) Portable lights / insta lights shall be provided at strategic locations in the staircase and lift lobby.

7) **STAIRCASE AND CORRIDOR LIGHTINGS:(Each wing)**
i) The staircase and corridor lighting shall be on separate circuits and shall be independently connected so that they could be operated by one switch installation on the ground floor easily accessible to firefighting staff at any time irrespective of the position of the individual control of the light points, if any.
ii) Staircase and corridor lighting shall also be connected to alternate supply.
iii) Double throw switches should be installed to ensure that lighting in the staircase and the corridor do not get connected to two sources of supply simultaneously. A double throw switch shall be installed in the service room to terminate the stand-by-supply.

8) **FLAT/SHOP ENTRANCE & KITCHEN DOORS:(Each wing)**
i) Flat/Shop entrance and kitchen doors (if provided) shall be of solid core having fire resistance of not less than one hour (solid wood of 45 mm thickness.)

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ii) The fire resistance rating for staircase F.R.D., Lift lobby / protected lobby & the lift doors as per N.B.C. provisions.

9) **ELECTRIC CABLE SHAFTS, SERVICES & METER ROOM :(Each wing)**
BUS BAR SYSTEM IS PROPOSED WITH METER PANELS ON SERVICE FLOOR (REQUIREMENTS TO BE MODIFIED ACCORDINGLY)

i) Electric cable shafts shall be exclusively used for electric cables and should not open in staircase enclosure.
ii) Inspection doors for shafts shall have two hours fire resistance.
iii) Electric shafts shall be sealed at each floor level with non-combustible materials such as vermiculite concrete. No storage of any kind shall be done in electric shaft.
iv) Electric wiring/ cable shall be non-toxic, non-flammable, low smoke hazard having copper core / fire resistance for the entire building with provision of ELCB/MCB.
v) Electric meter room shall be provided at location marked on the plan. It shall be adequately ventilated & easily accessible.
vi) Low and medium voltage wiring running in shaft and in false ceiling should run in separate conduits;
vii) Water mains, telephone lines, intercom lines, gas pipes or any other service line should not be laid in the duct for electrical cables; use of bus bar/solid rising mains instead of cables is preferred.
viii) Preferably bus bar system shall be installed from ground to all upper floors main supply.
ix) Separate circuits for firefighting pumps, lifts, staircases and corridor lighting and blowers for pressurizing system shall be provided directly from the main switch gear panel and these circuits shall be laid in separate conduit pipes, so that fuse in one circuit will not affect the others. Such circuits shall be protected at origin by an automatic circuit breaker with its no-volt coil removed.
x) Automatic smoke detector system shall be provided in each electric shaft on each floor along with response indicator which shall be connected to main consol panel board on ground floor level and each floor level.
xi) Master switches controlling essential service circuits shall be clearly labeled.

10) **FALSE CEILING (if provided): (Each wing)**
False ceiling if provided in the building shall be of non-combustible material. Similarly, the suspenders of the false ceiling shall be of no combustible materials.

11) **MATERIALS FOR INTERIOR DECORATION/FURNISHING: (Each wing)**
The use of materials which are combustible in nature and may spread toxic fume/gases should not be used for interior decoration/furnishing, etc.

12) **LIFTS: (Each wing)**
A. **PASSENGER LIFT :**
i) Walls enclosing lift shaft shall have a fire resistance of not less than two hour.
ii) Shafts shall have permanent vent of not less than 0.2 sq. mtrs in clear area immediately under the machine room.
iii) Landing doors and lift car doors of the lifts shall be of steel shuttered with fire resistance of one hour. No collapsible shutter shall be permitted.

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iv) Fire lift shown in the plan shall be as per specifications laid down under the regulations, a toggle switch shall be provided to this lift for the use of Firemen.
v) Threshold of non-combustible material shall be provided at the entrance of each landing door.

B. FIRE LIFT:

i) Walls enclosing lift shafts shall have two hours fire resistance.
ii) The shafts shall have permanent vent equal 0.2 sq.mtr. clear area under the Lift Machine room.
iii) Landing doors and lift car doors shall be of steel shuttered type with one hour fire resistance. No collapsible shutters shall be provided.
iv) To enable fire services personnel to reach the upper floor with the minimum delay, one fire lift shall be provided and shall be available for the exclusive use of the firemen in an emergency and the directly accessible to every dwelling of each floor.
v) The lift shall have a floor area of not less than 1.4 sq. mtrs. with a minimum dimension of 1.12 mtrs. It shall have loading capacity of not less than 545 k.g. (8 persons lift) with automatic closing doors.
vi) There shall be an alternate electric supply of an adequate capacity apart from the normal electric supply the building and the cables run in a route safe from fire, i.e. within the lift shaft. In case of failure normal electric supply, it shall automatically trip over to alternate supply.
vii) The operation of fire lift should be by a simple toggle or two button switch situated in glass-fronted box adjacent to the lift at the entrance level. When the switch is on, landing call points will become inoperative and the lift will be on car control only or on priority control device. When the switch is off, the lift will return to normal working. This lift can be used by the occupants in normal times.
viii) The words 'Fire lift' shall be conspicuously displayed in florescent paint on the lift landing door at each floor level & Threshold of non-combustible material shall be provided at the entrance of each landing door.

13) CAR PARKING:

i) Car parking shall be permitted in the designated area.
ii) Drainage of the car parking area of all the levels shall be laid independent from that of the buildings & it shall be provided with catch pit & fire trapped before connecting the building drainage or Municipal drainage.
iii) Drainage of the car parking areas at all the levels shall be so laid as to prevent any overflow in the staircase, lift shaft etc.
iv) The parking area shall not be used for dwelling purpose & repairing / maintenance purpose, at any time. Dwelling use of naked light/flame, repairing /maintenance of vehicles shall be strictly prohibited in the parking area.
v) Repairing / servicing of cars, use of naked light shall not be permitted in the car parking areas.
vi) The drive way shall be properly marked & maintained unobstructed
vii) The Automatic Sprinkler System provided to the entire car parking area.

14) PODIUM/CAR PARKING FLOORS:

i) All the sides of the stilted / covered car parking shall be kept open except parapet walls of not more than 0.75 meters height.

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ii) Automatic sprinkler system to the entire parking floor & drencher system on the top of each podium floor shall be provided.
iii) The driveways shall be properly marked and maintained unobstructed, proper illuminated signage shall be provided for escape route, ramps etc at prominent location.

15) ACCESS RAMP :-

i) The gradient of the ramp shall not be steeper than 1:10.
ii) The access provided to the podium & basement shall be kept unobstructed.

16) COMMON BASEMENT:

i) Basement shall be ventilated. Vents with cross, sectional area (Aggregate) not less than 2.5 percent of the floor area spread evenly around the perimeter of the basement shall be provided in the form of grills or breakable stall boards lights or pavement lights or by way of shafts. Alternatively, a system of air inlets shall be provided at basement floor level and smoke outlets at basement ceiling level. Inlets and outlets may be terminated at ground level with stall boards or pavement lights as before but ducts to convey fresh air to the basement floor level shall have to be laid. Stall boards and pavement lights should be in position easily accessible to the fire Brigade personal and rescue teams and clearly marked 'SMOKE OUTLET' or 'AIR INLET' with an indication of area served at or near the opening.
ii) The basements shall be used for designated purpose only as shown in the plan.
iii) The basement shall be provided with natural ventilations through the ventilators, open cut outs as shown in the plan.
iv) The staircases of the basement shall be of enclosed type and entry to basement areas shall be through two hours fire resistance self-closing door provided in the enclosed wall of the staircase and through smoke check / cut off lobby. The smoke check/ cut off lobby shall be mechanically pressurized.
v) Mechanical ventilation shall be provided to the basement with 15 air changes per hour with an arrangement to accelerate the rate of air changes to 30 per hour in the event of a fire emergency.
vi) The ducts of the mechanical ventilations system shall be of substantial metal gauge as per the relevant I.S. standard.
vii) The operating switches of the mechanical ventilation shall be located in the fire control room with appropriate zonal indications.
viii) Exhaust duct shall be provided to draw out exhaust at ground level of the basement.
ix) Suitable signages shall be provided in the basement showing exit direction, way to exits etc.
x) Smoke off lobby, Staircases, common passages & escape routes of the entire building shall be painted with fire retardant paint.
xi) One Dry Chemical Powder fire extinguisher ABC type of 10 kgs. Capacity each shall be kept for every 100 sq. mtrs. area in basement.
xii) Staircase and lift lobby shall have illuminated by inverter operated exits signs with IP 54 enclosure. Luminance of the signages shall be such that they are visible from a distance of 12 to 16 meters.
xiii) The staircase of the basement & the associated lift lobbies shall be pressurized in the event of fire. The pressure in this enclosed staircase and

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enclosed lift lobbies shall be maintained not less than 5m.m. W.G. & 2.5 mm W.G. for lift lobbies.

xiv) Ventilation system shall start automatically on actuation of detector provided in the basement area.

xv) Exhaust duct, mechanical ventilation duct should not pass through exit or entry.

xvi) The basement beyond building line shall be paved, suitably to bear the load of fire engines weighing upto 48 m. tones each with point load of 10 kgs./sq. cms.

xvii) Basement area shall be divided in compartments as per NBC regulations.

xviii) The ventilation and area of ventilation and compartmentation if required shall be checked by EEBP.

xix) The interconnectivity between (exit / entrance) between two compartments shall be protected by fire curtain having four hours fire resistance.

17) FIRE FIGHTING REQUIREMENTS:-

A) UNDER GROUND WATER STORAGE TANK: (Common for A,B,C,D, & E wing) Underground water storage tanks of 3,00,000 liters capacity shall be provided at location marked on the plan, as per the design specified in the rules with baffle wall and fire brigade collecting breaching. The tank shall be flushed with the courtyards and the roof slab of the tank shall be reinforced suitably to bear the load of fire engines weighing up to 48 m. tones each with a point load of 10 kgs./sq. Cms.

B) UNDER GROUND WATER STORAGE TANK: (For PPL) Underground water storage tanks of 1,00,000 liters capacity shall be provided at location marked on the plan, as per the design specified in the rules with baffle wall and fire brigade collecting breaching. The tank shall be flushed with the courtyards and the roof slab of the tank shall be reinforced suitably to bear the load of fire engines weighing up to 48 m. tones each with a point load of 10 kgs./sq. Cms.

C) OVERHEAD WATER STORAGE TANK: (Each wing)
A tank of 30,000 liters capacity shall be provided on each staircase shaft at the terrace level, the layout of which shall be got approved from H. E.'s departments prior to erection. The tank shall be connected to wet risers through a booster pump through a non-return valve gate valve.

D) WET-RISER: (Each wing)
Wet riser of internal dia. of 15cm of G.I. 'C' Class pipe shall be provided in the duct as shown on the plan adjoining the each staircase with double hydrant outlet & hose reel at each floor in such a way as not to reduce the width of the common corridor. Pressure reducing discs or orifices shall be provided at lower level, so as not to exceed the pressure of 5.5 kgs. per sq. cms. A fire service inlet on the external face of the building near the tank directly fronting the courtyards shall be provide to connect the mobile pump of the fire service to the wet riser.

E) FIRE SERVICE INLET:(Each wing)

i) Fire service inlet shall be provided to refilled U.G. tank as well as to feed riser system by passing the fire pump & to feed sprinkler system.

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ii) Operating switches of fire pumps shall be also provided in glass fronted boxes at ground floor.

F) **AUTOMATIC SPRINKLER SYSTEM:(Each wing)**
The Automatic sprinkler system shall be provided in entire building including each office, lift lobby/common corridor at each floor level , car parking area as per the standards laid down by T.A.C. or relevant I.S. specifications.

G) **DRENCHER SYSTEM: (for all podiums /parking floors and fire check floors)**
Drencher system should be provided on the periphery of the top of each podium / car parking floors & Fire check floor of the building and should be connected to the main sprinkler pump as per the standard laid down in relevant I.S. Specifications.

H) **RATE OF RISE DETECTORS: (Each wing)**
Rate of rise detectors shall be installed in the hot areas i.e. kitchen, pantry, etc. and same shall be connected to main console at ground floor level.

I) **AUTOMATIC SMOKE DETECTION SYSTEM: (Each wing)**
Automatic smoke detection system shall be provided in each electric meter room & each lift machine room with response indicator; same should be connected to main console panel on ground floor level, as per IS specification.

J) **FIRE PUMP, BOOSTER PUMP, SPRINKLER PUMP &JOCKEY PUMP: (Each wing)**

i) Wet-riser shall be connected to a fire pump at ground level of capacity of not less than 2400 liters/min. capable of giving a pressure of not less than 3.2 kgs/ sq. cms. at the top most hydrant.
ii) Booster pump of 900 liters/min. capacity giving a pressure of not less than 3.2 kgs./ sq. cms. at the top most hydrant out let of the wet-riser shall be provided at the terrace level.
iii) Sprinkler pump of suitable capacity along with jockey pump shall be provided for automatic sprinkler system.
iv) Electric supply (normal) to these pumps shall be independent circuit.
v) Operating switches for booster pumps shall be also provided in glass fronted boxes in lift lobbies on each floor at prominent place.
vi) Operating switches of fire pumps shall be also provided in glass fronted boxes at ground floor.
vii) All above pumps should be surface mounted or vertical turbine type (submersible pump not permitted) pump along with adequate size of pump room.

K) **FIRE PUMP, BOOSTER PUMP, SPRINKLER PUMP &JOCKEY PUMP: (For PPL)**

i) Wet-riser shall be connected to a fire pump at ground level of capacity of not less than 2400 liters/min. capable of giving a pressure of not less than 3.2 kgs/ sq. cms. at the top most hydrant.
ii) Booster pump of 900 liters/min. capacity giving a pressure of not less than 3.2 kgs./ sq. cms. at the top most hydrant out let of the wet-riser shall be provided at the terrace level.

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iii) Sprinkler pump of suitable capacity along with jockey pump shall be provided for automatic sprinkler system.
iv) Electric supply (normal) to these pumps shall be independent circuit.
v) Operating switches for booster pumps shall be also provided in glass fronted boxes in lift lobbies on each floor at prominent place.
vi) Operating switches of fire pumps shall be also provided in glass fronted boxes at ground floor.
vii) All above pumps should be surface mounted or vertical turbine type (submersible pump not permitted) pump along with adequate size of pump room.

L) **STAND BY PUMP : (Each wing)**
A Set fire pump, sprinkler pump and jockey pump pumps shall be kept as stand by pump Or. Diesel operated stand pump shall be provided as per N.B.C.

M) **EXTERNAL HYDRANTS: (Each wing)**
Courtyard hydrants shall be provided at distance of every 30.00 mtrs around the building within the confines of the site of the wet riser.

N) **ALTERNATE SOURCE OF POWER SUPPLY:(Common for all wings)**
An alternate source of L. V. /H. V. supply from a separate sub-station as well as D.G. Set with appropriate change over switch shall be provided for fire pump, Booster pump, sprinkler pump, jockey pump, fire lift, staircase, corridor lighting circuits, and fire alarm system, detector systems, etc. It shall be housed in a separate cabin.

O) **PORTABLE FIRE EXTINGUISHERS : (Each wing)**
i. Dry chemical powder type fire extinguisher of 06 kgs. Capacity each having B.I.S. certification mark and buckets filled with dry clean sand shall be kept in electric meter room as well as in lift machine room.
ii. Dry chemical powder type fire extinguishers of 06 kgs capacity having B.I.S. certification mark shall be kept for every 100 sq. mtr. area on each parking floor ,on stilt at ground floor, basement & each podium floors.
iii. Dry chemical powder type fire extinguisher of 6 kgs. capacity having I.S. certification mark shall be kept on each floor level & in each refuge area.

P) **PUBLIC ADDRESS SYSTEM: (Each wing)**
The building shall be provided with public address system as per the rules with main control operator at console panel at ground floor area.

Q) **FIRE ALARM SYSTEM: (Each wing)**
The building shall be provided with manual fire alarm system with main control panel at ground floor level and pill-boxes and hooters at each upper floor level. The layout of fire alarm system shall be in accordance with I.S. specification.

R) **SIGNAGES: (Each wing)**
Self-glowing/fluorescent exit signs in green color shall be provided showing the means of escape for the entire building.

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18) **BREATHING APPARATUS SETS: (Each wing)**
Two Self contained Compressed Air Breathing Apparatus sets of 45 minutes duration each shall be kept in the fire control room & two Self contained Compressed Air Breathing Apparatus sets of same capacity shall be kept in refuge area in consultation with C.F.O.

19) **VOICE EVACUATION SYSTEM: (Each wing)**
The voice evacuation system shall be integrated to Fire Alarm system so as to facilitate the co-ordination activities in case of fire emergencies. The actuation of the fire alarm control panel shall automatically activate the Voice Evacuation system. A pre-recorded message shall be broadcast on the affected floor, one floor below & two floors above the affected floor.

20) **INTEGRATED SYSTEM: (Each wing)**
The entire fire fighting system shall be of the type "Integrated Building Automation System" combining all the systems. Flasher light shall be installed at the top of the building which will be switched on in case of incident of fire in that building to indicate involvement of building in fire. It will also help the incoming fire brigade appliances to reach the spot in time without delay.

21) **FIRE DRILLS / EVACUATION DRILLS:**
Fire Drills and evacuation drills shall be conducted regularly in consultation with Mumbai Fire Brigade and log of the same shall be maintained.

22) **SERVICE DUCT: (Each wing)**
i) All service ducts shall have 2 hr. fire resistance.
ii) Inspection door of the service ducts shall have 2 hr. fire resistance.
iii) Duct for water service, drainage line, shall be separate from that of electrical cable duct.
iv) All service duct shafts shall be sealed at each floor level with non combustible materials such as vermiculite concrete. No storage of any kind shall be done in the shaft.

23) **FIRE CHECK FLOOR : (Each wing)**
i. Fire check floor shall be provided at every 70.00 mtrs. height of the building.
ii. Fire check floor shall be open on all sides which serves as fire separation floor.
iii. Fire check floor shall be properly accessible from common areas.
iv. Fire check floor shall not be allowed to be used for any other purpose and it shall be the responsibility of the owner / occupier to maintain the same clean and free of encumbrances and encroachments at all times.
v. Height of the fire check floor shall not be more than 1.8 mtrs.
Periphery of the Fire Check floor shall not be enclosed.
vii. Fire Drenchers shall be provided at the periphery of the each fire check floor externally.

24) **TRAINED OFFICER / SECURITY GUARDS: (Each wing)**
i) A qualified full time fire officer with experience of not less than 3 years shall be appointed who will be available on the premises at all times. Alternative full

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time qualified fire officers working in shift duty system shall be placed round the clock on the premises.

ii) The trained security / fire supervisor along with trained staff having basic knowledge of fire fighting& fix fire fighting installation shall be provided / posted in the building.

iii) Maintenance of all the first aid fire fighting equipments, fixed installations & Other fire fighting equipment / appliance in good working condition at all times.

iv) Imparting training to the occupants of the building in the use of firefighting equipment provided on the premises & kept them informed about the fire & other emergency evacuation procedures.

v) To liaise with the City Fire Brigade on regular & continual basis.

25) HYDROMECHANIZED ASCENDING & DESENDING DEVICE:(Each WING)

a) Mechanized Ascending/Descending Device or external evacuation system, as approved by CFO, shall be provided.

b) External electro hydraulically operated ascending & descending evacuation system having 8 person capacities with entry and exist at each floor level which is connected to the common lobby (staircase / lift).

c) The Mechanized Ascending/Descending Device shall be installed on the external face of building from terrace with guild line, along with cabin & should use for ascending & descending.

d) The electrical supply for the same shall be emergency as well as alternate source of electrical supply for separate backup emergency power supply.

e) The said device shall be operational from the cabin as well as from ground floor (preferred by remote control) by the operator.

f) Mechanized Ascending/Descending Device /external evacuation system shall be confirm to the relevant NFPA codes & shall be certify by U.L.

OR

FIREMAN EVACUATION LIFT:

Fire man "s lift along with Fireman's lift lobby be provided in the High Rise Wings at the floor landing level with access to the floor level lobby thru Fire Curtain which shall create Fireman's Lobby in emergencies & this lift shall satisfy all the specifications of Fireman's Lift. (fireman's lift shall be provided from ground level).

26) FIRE CONTROL ROOM :(Each wing)

i) Separate Fire Control room with well qualified man power shall be established on ground floor.

ii) Plan of each floors indicating means of egress as well escape shall be maintained.

iii) Control panel of fire safety system shall be located in the control room.

27) ELECTRIC SUBSTATION:- (Dry Type)

a. Only dry type transformers shall be installed.

b. Entire installation of substation including switchgear room, capacitors, transformer etc. shall be confirmed to the Indian Electric Act/Rules in practice.

c. Cables in the cable trenches shall be coated with fire retardant material.

d. Automatic built-in circuit breakers shall be provided in the substation /transformer.

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e. The door of the sub-station shall be of two hours fire resistance.
f. The substation/transformer area shall be kept prohibited and no unauthorized person shall be allowed to enter in the area.
g. Ventilation shall be provided at the ceiling level.
h. The area provided for the installation of transformer shall be suitably hardened with R.C.C. and the same shall be covered with sand bed having thickness not less than 15 cms.
i. H.V./L.V. cable ducts shall be as per Indian Electricity Rules.
j. The danger signage on the substation fencing along with the electric voltage load.
k. Four dry chemical power type (ABC stored pressure type) fire extinguishers of 6 kgs. Capacity each with ISI certification mark coupled with four buckets filled with dry clean sand shall be kept on the sub-station.
l. Smoke detection system shall be installed in the electric substation as per I. S. specifications.

28) D. G. SET ROOM: (Each wing)

i) The proposed D. G. set room shall be covered from all sides either by brick masonry walls/R.C.C. of 9" thickness with provision of 02 hours fire resistant door.
ii) Entire installation of D. G. set including Switchgear room, capacitors & transformer etc. shall be conforming to the Indian Electrical Act / Rules in practice.
iii) A deep tray shall be kept under the fuel tank of the D. G. set to collect the spillage & same shall be disposed off daily without fail.
iv) Electric wiring shall be having the fire resistance & low smoke hazard cables for the entire building with provision of B.E.S.T.
v) The capacity of the D. G. set shall be as per B.E.S.T.'s requirements.
vi) Adequate ventilation for switchgear room is essential to prevent condensation.
vii) The door of the D. G. set room shall be of 02 hours resistance.
viii) The capacity of the D.G. set shall be conforming to the electricity rules& shall not be exceed 2000KVA.
ix) The D.G. set shall be properly grounded.
x) Exhaust of the D. G. set shall not be directed into exit/entrance or any adjoining structures.
xi) Sand bed of at least 6 inch thickness shall be provided below the D.G. set.
xii) Electric cable of the D. G. set shall be of FRLS type.
xiii) Proper ventilation shall be provided to the D. G. set room.
xiv) Not more than 30 ltrs. of spare stock of Diesel oil shall be stored in its original container near the D. G. set away from electric switches or source of ignition.
xv) Electric cable laid in the cable trench shall be coated with fire retardant material.
xvi) Automatic built in circuit breakers shall be provided to the D. G. set.
xvii) Rubber pad shall be provided to the D. G. set to absorb the vibrations if any.
xviii) The D.G. set area shall be kept prohibited and no unauthorized person shall be allowed to enter in the area.
xix) 04 nos. of Dry Chemical Powder (A.B.C.) type fire extinguishers each of 06kgs. capacity with ISI certification mark coupled with 08 buckets filled with dry, clean sand shall be kept at the entrance of the D. G. Set Cabin / room.

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29) **REFUGE AREA: (Each wing)**

(A) Refuge area provided as shown on plan shall be conforming to the following requirements:

i) **Manner of refuge area**

a) The refuge area shall be so located that it shall preferably face the wider open space on the side of the building perpendicular to the main access road.

b) The refuge area shall be provided with railing/ fire rated glass / parapet of 1.20 mt.

c) The refuge area shall have a door which 'shall be painted or fixed with a sign in luminous paint mentioning "REFUGEAREA"

d) The lift/s shall not be permitted to open into the refuge areas.

e) The refuge area provided within building line shall be accessible from common passage/ staircase.

ii) **Use of refuge area :**

a. The refuge area shall be earmarked exclusively for the use of occupants as temporary shelter and for the use of Fire Brigade Department or any other organization dealing with fire or other emergencies when occur in the building and also for exercises/drills if conducted by the Fire Brigade Department.

b. The refuge areas shall not be allowed to be used for any other purpose and it shall be the responsibility of the owner/occupier to maintain the same clean and free of encumbrances and encroachments at all times.

iii) Facilities to be provided at refuge area

Adequate emergency lighting facility shall be provided.

iv) **Terrace floor as a refuge floor:**

a) The necessary facilities such as emergency lighting, drinking water etc shall be provided.

b) The access door/s from the enclosed staircase/s to the terrace floor shall have louvers at top half portion of the door. The entrance doors to the terrace shall be painted or fixed with sign painted in luminous paint mentioning "REFUGEAREA".

v) Excess refuge area (above 4%) shall be counted in FSI.

The party had paid the scrutiny fee of Rs. 50,53,000/- vide Receipt No. 4615649& SAP Doc. No. 1001846653 dated 26.08.2014 on the total gross built up area of 1,63,000 sq. mtrs. as certified by the Architect.

The architect vide his letters has certified the gross built-up area as 239163.00 sq. mtrs. and the party has paid additional scrutiny fee of Rs. 30,13,302/- vide receipt No. 4915070 SAP docket No. 1002813860 dated 11.1.2017.

Now, the architect vide his letters dated 17/5/17 has certified the gross built-up area as 239163.00 sq. mtrs. and the party has paid additional scrutiny fee of Rs. 22,17,707/- vide receipt No. 5603897, SAP docket No. 1002967763 dated 20.5.2017 as per the revised rates.

E.E.B.P.(City) is requested to verify the total built-up area and inform this department, if the same is found to be more for the purpose of levying additional capitation fees, if required.

Note: -

i) There shall not be any trees obstructing fire appliances reach in compulsory open spaces, required as per DCR.

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ii) The Area Calculation submitted by the architect in the plans shall be verified by E.E.B.P.(City) and if any change then the proposal shall be referred back to this department.
iii) Necessary permission for glass or any cladding / façade, Swimming Pool shall be obtained from concerned department of M.C.G.M.'s / C.F.O.'s department till then shall not be allowed to use.
iv) E.E.B.P.(City) requested to scrutinized the plans as per amended DCR &verify civil work and all other requirements pertaining to civil Engineering side including open spaces, corridors, staircases, amendments, height, refuge area in sq. mtrs. & floor occupancy of the building. E.E.B.P. (City) is also requested to verify 6.00 mtrs. wide open space & R.G. as per the Directives of Hon. M.C.'s office order No. MGC/A/6647 dated 23.12.2013 & orders of Hon. Supreme Court. And if these plans, given open space & R.G. is not approvable then this NOC shall be treated as cancelled & refer back to this department for revised NOC also till then further process of issuing IOD & C.C. shall not be permitted.
v) The MEP consultants shall verify & examine the size, area of the ducts provided for electricity supply, sprinklers, wet risers, detection etc.
vi) This NOC is issued from the fire safety point of view.
vii) The fire fighting installation shall be carried out by licensed approved agency.
viii) This N.O.C. is subject to approval by High Rise Technical Committee.
ix) The Architect proposed basement level of -15.40 mtrs. which is considered by this Department subjected to approval by Hon'ble M.C.

Chief Fire Officer (I/c.)
Mumbai Fire Brigade 12/6/17

12/6/17

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Annexure 16: Project Site Photographs

Annexure 17: Dewatering Permission

Municipal Corporation of Greater Mumbai

ODFN/ 833 /M. DI. /5/06/2017

Office of the
Asstt. Engineer (Maint.)
F/North ward, 96,
Bhau Daji Marg, Matunga,
Mumbai – 400 019.

To,

M/s Omkar Construction
Mr. P.D. Kanase
L.P. No. 4550
501, 'A' wing, Dosti Acres,
Iris Bldg., S.M. Road, Wadala(E),
Mumbai – 400 037.

Sub.: Revalidation permission for de-watering for the construction work of proposed redevelopment for property bearing C.S. No. 2A/116 & 4/116 of Salt Pan & 4/356 of Matunga Division, Wadala, Mumbai - 400 019 in F/North ward.

Ref.: Your letter of dtd. 03/06/2017.

Gentleman,

With reference to above mentioned letter, there is no objection to grant temporary permission for de-watering of the sub soil water from your construction site at the property bearing C.S. No. 2A/116 & 4/116 of Salt Pan & 4/356 of Matunga Division, Wadala, Mumbai - 400 019 in F/North ward to discharge the treated subsoil & surface water into the storm water network of M.C.G.M. subject to the following conditions purely on temporary basis.

1) That you shall construct the catch pit chamber of size 3 feet X 4 feet with sil. pocket of the minimum depth of 2 feet before discharging it to Municipal storm water network.
2) That you shall pay permission charges of Rs. 1,05,000/- to this office.
3) That the proper cleaning arrangement shall be provided adopted meticulously before dewatering.
4) That only the water accumulated during construction work should be dewatered through this arrangement.
5) That you shall not discharge any untreated surface / subsoil water, slurry generated during piling work etc. in to the Municipal SWD. If it is observed that untreated surface / subsoil water is discharged directly to SWD, then the penalty will be recovered from you, as per M.C.G.M. rule.
6) That this permission is granted for six months only effective from 03.06.2017 to 02.12.2017.
7) The M.C.G.M. reserved the right to cancel this permission at any time without assigning any reason.

In case of breach of any of above mentioned condition, this permission shall stand revoked, which please be noted.

Yours Faithfully,

Assistant Engineer (Maint.) F/North

Annexure 18: Urban Heat Island (UHI) Report

Urban Heat Island and Microclimate

1 Methodology

The amount of heat directly emitted to the environment can artificially elevate the local temperature and is known as heat island. This depends on the number of air conditioners, DG sets and AC plants operational in and around the vicinity of the building or its impact zone. For the estimation of the heat island effect due to the proposed building in relation with the area, basic information was sought from Project Proponent. The number of flats and rooms were obtained from developers for estimating heat island effect. Other factors used and considered for the prediction included were:

- Glass-to-surface area,
- Total height-to-floor area ratio,
- Surface albedo,
- Local green area,
- Width to height ratio,
- Proximity to heat sink,
- Sky view factor,
- Surrounding built area ratio,
- Altitude of the site,
- Wind velocity and
- Solar radiation

These parameters were chosen as these could be easily incorporated and moderated by the designers at the concept design stage of high density developments. The sky view factor is calculated based on a graphical method. The albedo levels for the surfaces are based on literature. In order to predict the impact of heat island, the surrounding length and breadth of the neighboring buildings were estimated. This was carried out through field survey as well as the information from the builders. The analysis was carried out on the basis of following:

- *Situation analysis*: Building type, material used, size, location, facing, wind, climate, surroundings etc.
- *Scenario considered*: Types of material being used, ACs being planned, DG outlet planned, usage percentage, etc.
- *Results of analysis*: For each scenario, the level of heat generated, dissipated, accumulated.
- Mitigation and Recommendations

2 Heat Rejected from Air Conditioners

The proposed site comprises of five wings; Wings A, B, C, D and E buildings. There are total of 928 flats. AC points would be given in bedrooms and living rooms. It would depend on flat owners to install ACs. Heat rejected would be dependent on AC usage. These assumptions were made on the basis of the literature available. Combined this heat with high humidity, the city temperature regime can make the atmosphere very uncomfortable. As reported in literature, it can be stated that annual mean air temperature could be 1.8–5.4°F (1–3°C) warmer than its surroundings. In the evening, the difference can be as high as 22°F (12°C). This is mainly due to AC usage in residential complexes. In urban areas most of the people not present in their residential complexes. Based on their AC usage profile, heat rejection would vary. Thus it is estimated that during night time temperature would vary up to 12°C.

3 Building Materials and Heat Dispersions

Building material also plays the crucial role in heat dispersion. An increase in glass to surface area ratio by 1% increases the UHI by 22%. Heat generated from buildings could get dispersed under the influence of wind. It would depend on wind direction, wind velocity, relative humidity and temperature. Studies reported that 2 m area could get directly affected by heat dispersed from buildings. This was reported on the basis of study conducted for coastal cities with the help of Regional Atmospheric Model System (RAMS). Materials used in the envelope of buildings and the urban structures play a very important role in the urban thermal balance. They absorb solar and infrared radiation and dissipate part of the accumulated heat through convective and radiative processes to the atmosphere increasing ambient temperature. Thus, the technical characteristics of the used materials determine to a high degree the energy consumption and comfort conditions of individual buildings as well as of open spaces. Many studies have been carried out to understand better the optical and thermal characteristics of materials as well as their impact on the city climate and systematic ambient temperature differences above various types of materials have been reported.

4 Mitigative Options

A- Material Use

The use of materials presenting high reflectivity to the solar radiation and high spectral emissivity, cool materials, contribute to increasing the urban albedo and it is considered to be one of the more promising and powerful techniques to mitigate the heat island phenomenon. Cool materials have gained an increasing acceptance and are widely used in buildings and urban applications presenting a high potential for surface and ambient temperatures decrease. The representative values for solar reflectance, infra red emittance and solar reflectance index for different materials are given in Table 1.

Table 1: Solar reflectance, infra red emittance and solar reflectance index for different materials

Materials	Solar Reflectance (SR)	Infra red emittance (IRE)	Solar reflective index (SRI)
	Asphalt shingles		
White asphalt shingle	0.20-0.30	0.80-0.90	15-28
Black	0.04	0.80-0.90	-7 to -1
	Tiles		
Terracotta ceramic tile	0.25-0.40	0.85-0.90	23-45
White clay tile	0.60-0.75	0.85-0.90	71-93
White concrete tile	0.60-0.75	0.85-0.90	71-93
Grey concrete tile	0.18-0.25	0.85-0.90	14-25
Cool dark colored concrete tile	0.40-0.60	0.85-0.90	43-72
	Build up roof		
With asphalt	0.04	0.85-0.90	-4 to -1
With white gravel	0.30-0.75	0.80-0.90	27-58
With white coating	0.75-0.85	0.80-0.90	93-113

- Where; solar reflectance and infra red emittance of a material was calculated by using ASTM methodologies. An increase in albedo level, height-to-floor area ratio, glass-to-surface area ratio and proximity to heat sink by 1% will lead to decrease in nocturnal UHI by 1.3, 8.7, 2.2, and 4.3%, respectively. Increase in local green area by 1% will increase nocturnal UHI by 0.15%.

B: Use of Green Cover

Probable Heat emissions from proposed high rises

As per previous case, built-up area of proposed project is 59, 196.90 m^2 and total garden area provided is 7824.86 m^2. Considering current case, total built up area of the proposed site is

90,971.09 m^2. Total green cover 5389.71 m^2 would be reserved. Currently, the entire built up area is a concrete land. Hence, amount of heat absorbed was predicted for the entire plot area with emissivity of concrete which is 0.95. Out of the total developed area, 20-25% of concrete area would be reserved for pedestrian walking and footpath. This pedestrian walking or footpath would be developed with cool pavement ideas like use of grey concrete tile or cool dark colored concrete tile. Both of them have emissivity of 0.90. This emissivity factor was considered for predicting the heat absorbed. Thus comparison of heat absorbed by the plot area with current situation, with concrete and with cool pavement idea is given in **Table 2.**

Table 2: Heat absorbed on plot areas

Options	Current	Previous
	Heat absorbed (w/m^2)	
Full concrete	91003.79	75689.98
20% of cool pavement ideas	72803.03	60551.98
30% of cool pavement ideas	63702.65	52982.98
40% of cool pavement ideas	54602.27	45413.99

If the entire built up area is developed with concrete then it would have heat absorbing capacity of 91003.79 w/m^2. In this estimate the green cover area was considered as soil covered area. Proposed buildings would attempt for maximum of cool pavement ideas. These cool pavement ideas would be implemented for pedestrian and footpaths. Thus three scenario predictions were made for using cool pavement ideas. In this estimate, cool pavement areas along with concrete and green cover were taken into consideration.

In order to predict the heat absorbed from the building surfaces, it is important to estimate the area of the cross sections. Height, width, breadth were used to predict the amount of heat absorbed on the surface of buildings. Predictive study was made with different colors that could be used for the painting. Use of white color showed a variation of 12% from concrete walls white using cadmium yellow color and Chromatone with silver coated color showed a very high decrease in heat absorbing character from buildings. All this are given in **Figure 1.**

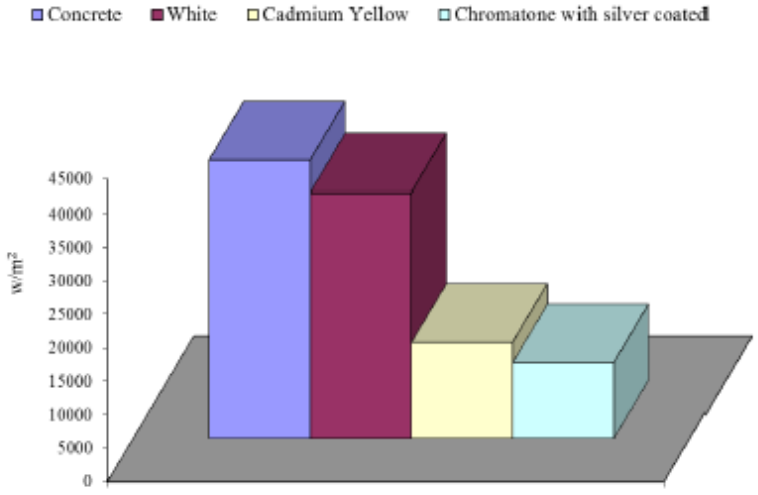

Figure 1: Heat absorbance of different materials

Hence, proposed towers would be painted with cadmium yellow paint. This would reduce UHI effect to certain extent. Similarly the amount of heat radiated inside the room and amount of heat emitted from the surface of the towers were also predicted. The increase in temperature from the proposed project is given in Table 3.

Table 3: Increase in temperature due to materials use

Types of materials	Current	Previous
	Increase in temperature (^{0}C)	
Concrete	7-8.02	6-7.02
Eco friendly ideas	4.55-5.21	3.9-4.6

All these are predicted value

Hence, developers would choose the appropriate materials for construction of proposed towers. This would be dependent on availability of materials. They could select a material has higher solar reflective index. This would aid in mitigating the impact of heat island on surrounding.

The internal comfort is estimated using the Ecotect Software. Result of flats on typical floor plan of wing A, B,C,D and Wing E, is given below in following Figure 2 – 7

Figure 2: Indoor ventilation assessment for Flat No 1 and 2 for typical floor plan of Wing A

Figure 3: Indoor ventilation assessment for Flat No 3 and 4 for typical floor Plan of Wing A

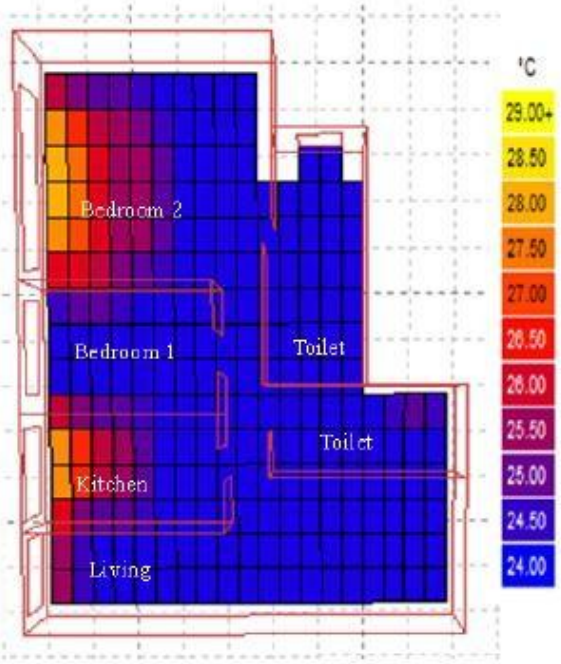

Figure 4: Indoor ventilation assessment for Flat No 5 - 8 for typical floor plan of Wing B

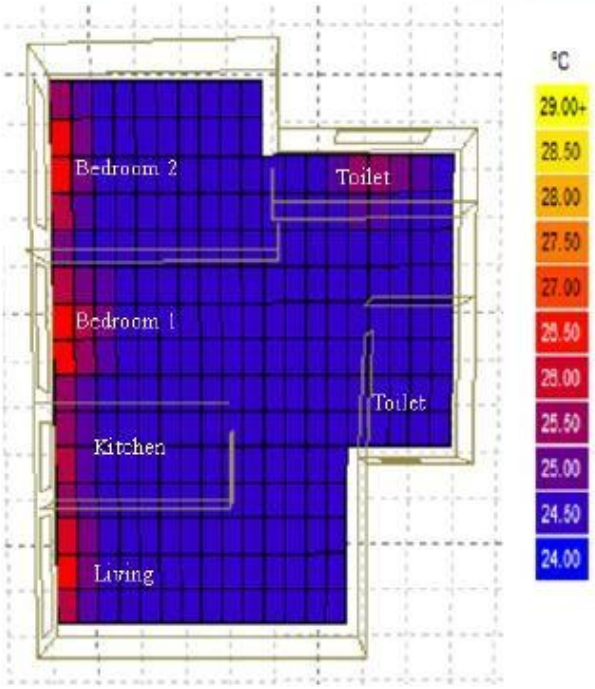

Figure 5: Indoor ventilation assessment for Flat No 9 - 14 for typical floor plan of Wing C

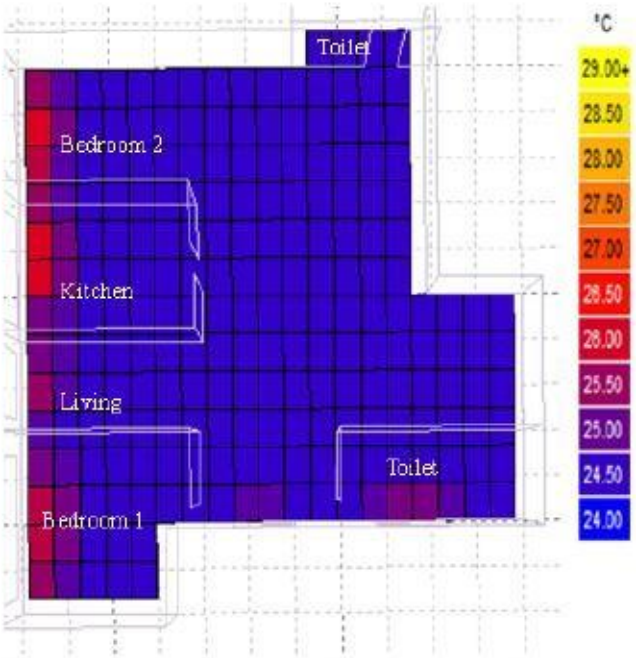

Figure 6: Indoor ventilation assessment for Flat No 15 - 18 for Typical floor Plan of Wing D

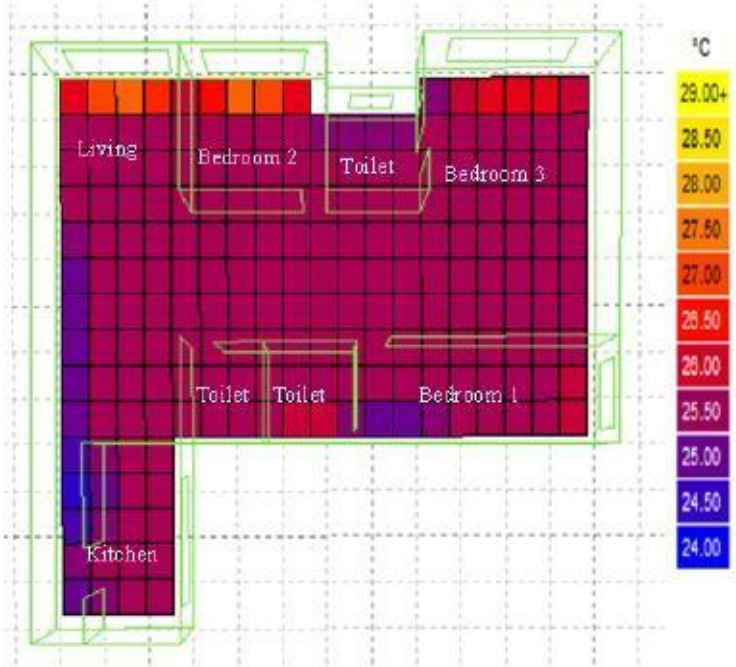

Figure 7: Indoor ventilation assessment for Flat No 19 - 22 for Typical floor Plan of Wing E

5 Conclusion and Recommendation

- The heat rejected from ACs would be dependent on occupant habit and their usage.
- Different materials used for construction also play a crucial role in heat rejection and thereby increases the surrounding temperature. A list of materials has been provided in **Table 1**. Developer would select the materials that would aid in reducing UHI. This would be dependent on availability of materials. A decision would be taken during construction phase
- Cool pavement ideas can be implemented for footpaths and pedestrian pathways. This would also aid in reducing UHI impact on the environment. Reduction in heat absorbed is given in **Table 2.**
- The heat outlet locations need to be kept as per prominent wind movement of the location.
- Ideas like greening of building rooftops and walls, adoption of water-retentive construction materials, application of light colored paint to exterior walls, use of reflective roofing materials would be promoted.
- Cool roofing and cool pavement idea should be implemented to reduce heat island effect as it enhances the surface heat flux. Such designs should be implemented for all the open areas, pedestrian pathways and outside the building.
- All the residents would be provided with a booklet. This booklet would have information about energy and money saving from less usage of ACs and other appliances. This would also include importance of maintenance of particular instrument towards saving heat load and energy. This would also include option of use of renewable resource.
- Open spaces would be developed as per the landscape plan which would reduce the heat load. The landscape would have a mix of tree shrubs and grass.
- An increase in albedo level, height-to-floor area ratio, glass-to-surface area ratio and proximity to heat sink by 1% will lead to decrease in nocturnal UHI by 1.3, 8.7, 2.2, and 4.3%, respectively. Increase in local green area by 1% will increase nocturnal UHI by 0.15%.

Annexure 19: Previous Compliance Report Submission Acknowledgement Copies

6/2/2020 Six Monthly Compliance Report June 2019 - December 2019 - Dosti KSL - mumbai.epri@gmail.com - Gmail

Six Monthly Compliance Report June 2019 - December 201

EPRI Mumbai <mumbai.epri@gmail.com>
to eccompliance-mh, Deepali, Avick, Avick, rameshw.dosti

Respected Sir,

We are enclosing herewith Six Monthly Compliance Report of Environmental Clearance for the Perio project of **"M/s Dosti Realty Ltd"**, at Matunga Divison, Vidyalankar College Road, Antop Hill, Wa

Kindly receive the same for your record & reference.

Reference : - Environmental Clearance No. SEAC- 2015/CR-276/TC-1 dated 12th July

Thanks & Regards,
M/s. Dosti Realty Ltd

PDF MoEF-Six Monthl..

6/2/2020 Six Monthly Compliance Report June 2019 - December 2019 - Dosti KSL - mumbai.epri@gmail.com - Gmail

Six Monthly Compliance Report June 2019 - December 201

Inbox x

EPRI Mumbai <mumbai.epri@gmail.com>
to ms, chairman, sromumbai1, romumbai, Avick, Avick, Deepali, rameshw.dosti

Respected Sir,

We are enclosing herewith Six Monthly Compliance Report of Environmental Clearance for the Perio project of **"M/s Dosti Realty Ltd"**, at Matunga Divison, Vidyalankar College Road, Antop Hill, Wa

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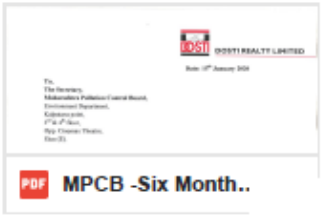
Thanks & Regards,
M/s. Dosti Realty Ltd



PDF **MPCB -Six Month..**

6/2/2020 Six Monthly Compliance Report June 2019 - December 2019 Dosti KSL - mumbai.epri@gmail.com - Gmail

Six Monthly Compliance Report June 2019 - December 201

EPRI Mumbai <mumbai.epri@gmail.com>
to kartikeya.langote, dattatray.bhalerao, Avick, Avick, Deepali, rameshw.dosti

Respected Sir,

We are enclosing herewith Six Monthly Compliance Report of Environmental Clearance for the Perio project of **"M/s Dosti Realty Ltd"**, at Matunga Divison, Vidyalankar College Road, Antop Hill, Wa

Kindly receive the same for your record & reference.

Reference : - Environmental Clearance No. SEAC- 2015/CR-276/TC-1 dated 12th July

Thanks & Regards,
M/s. Dosti Realty Ltd

PDF **SEIAA-Six Monthl..**

Annexure 20: Newspaper Advertisement Copy


THE FREE PRESS JOURNAL
SINCE 1928
₹1
FREE PRESS

PUBLIC NOTICE

"Dosti Realty Ltd."

Our proposed construction of Residential Project with Public Parking on Plot bearing CS No. 2A/116 & 4/116 of Salt Pan Division and 4/356 of Matunga Division, Vidyalankar College Road, Antop Hill, Wadala (E), Mumbai, was accorded the Environment Clearance from the Environment Department, Government of Maharashtra.

The copies of the Environment clearance letter are available with Maharashtra Pollution Control Board and may also be seen on the Environment Department, Govt. of Maharashtra website at **http://ec.maharashtra.gov.in**

जाहीर नोटीस

"दोस्ती रिअल्टी लि."

आमच्या मौजे सर्वे नं. २ए/११६ आणि ४/११६, सॉल्ट पॅन विभाग आणि ४/३५६ गाव माटुंगा विभाग, विद्यालंकार महाविद्यालय मार्ग, अँण्टॉप हिल, वडाळा मुंबई (पु). येथिल गृहिवासी प्रकल्पाचा सार्वजनिक वाहनतळ या प्रकल्पाला पर्यावरण विभाग, महाराष्ट्र शासन यांचेकडुन पर्यावरण विषयक मंजुरी देण्यात आली आहे.

सदर पर्यावरण विषयक मंजुरीची प्रत महाराष्ट्र प्रदुषण नियंत्रण मंडळ यांच्या कार्यालयामध्ये आणि पर्यावरण विभाग, महाराष्ट्र शासन याच्या **http://ec.maharashtra.gov.in** या संकेत स्थळावर उपलब्ध आहे.

Fri, 29 July 2016
epaper.

Annexure 21: Tree NOC

(4)

MUNICIPAL CORPORATION OF GREATER MUMBAI
TREE AUTHORITY

Office of the Supdt.of Gardens
Veermata Jijabai Bhosale Udyan
Dr. Ambedkar Road, Byculla (E),

Dy. SG/City 95 Dop I F /B/SR/OD/BR/MC/LR
Date :- 11-12-15

To,
M/s. Dosti Realty Ltd.
Lawrence & Maryo House,
1st Floor , 276, Dr. D.N. Road,
Fort, Mumbai- 400 001.

Sub : Permission for cutting / removal / removal by transplanting of trees in the proposed the trees coming in the way of vehicle movement /construction of the project on plot bearing no.C.S. Nos. 2A / 116 & 4/ 116 of Salt Pan Div. and 3/356 of Matunga Div. in F/North ward

Dear Sir / Madam,

Please refer to above cited subject matter, it is to inform that your request for removal of trees coming in the work of proposed development has been considered by the Tree Authority's under section 8 (3) of The Maharashtra (Urban Areas) Protection & Preservation of tree Act 1975, (As modified upto 3rd November 2006). The permission for **Cut 03** (Three) no. of tree (Tree no. 1,2, 12 (Dead)) and to **transplant 01** (One)trees (Tree no. 9) and to **retain 08** (Eight) tree (Tree no. 3,4,5,6,7,8,10,11) which are coming in the construction of proposed building / work has been considered by the **Tree Authority meeting** vide its Resolution No.**309 dt 03.12.2015.**

You are directed to plant **06** nos of tree in the said property in lieu of the trees allowed to cut within 30 days in accordance with the provisions under section 8 (5) of the said Act and intimate to the Tree Officer about the action taken thereto.

As per the provision under Section 8 (3) (a) of the said Act, you are hereby directed that no tree shall be cut/ transplant until fifteen days (15) after the permission is given by the Tree Authority.

Further in accordance with the provisions under section 11(1) of the said Act, you are hereby directed to plant requisite number of trees as per the norms of the Tree Authority's I.e in open spaces two (2) trees per 100 sq.mtr and in R.G. Area Fice (5) trees per 100 sq.mtr and care should be taken so that tree grows properly and give a report to the Tree Officer about the conditions of these trees once in six month for a period of 3 years.

As per provision under section 19 (b) you are directed to obtain the N.O.C. of the Tree Officer for planting of trees in open spaces as well as R.G. Area as per the norms of Tree Authority's before getting occupation /completion certificate of the newly constructed building.

Your attention is kindly drawn to the provisions under section of 21 of the Maharashtra (Urban Areas) Protection & Preservation of Trees Act 1975 , as modified on 9th june 2004.

21 .1) Whoever fells any tree or causes any tree to be felled in contraventions of the provisions of the Act or without reasonable excuse fails to comply with any order issued or conditions imposed by the Tree Authority's or the Tree officer or any officers and servants subordinate to him in the discharge of their functions under this Act ,shall on convection be punished with the fine of not less one thousand rupees which may extend upto five thousand

(5)

rupees for every offence and also with imprisonment for a term of not less than one week , which may extent upto one year.

2) The felling or causing of felling of each tree without the permission of the Tree Authority's shall constitute a separate offence.

As per direction of the Tree Authority , you are hereby directed to submit the photographs taken while transplanting of tree and the C.D. Of the transplantation of the trees so as to ensure proper transplantation of the trees

As per the Tree Authority's Resolution No. 500 dated 18th March 2011 , you are requested to plant indigenous variety of trees having circumference of 6" above and height of 15' above . The list of indigenous variety of trees is enclosed herewith for your ready reference and compliance.

You are requested to contact Asstt. Supdt.of Gardens 'F/North' ward to monitor the technical aspects for transplantation and plantation of trees whose contact no. 9769497076

Thanking you.

Yours faithfully,

Supdt.of Gardens
& Tree Officer

ANNEXURE - A

1. PROJECT DETAILS

Name & Location	**:**	Proposed Residential Development with Public Parking facility at CS No. 2A/116 & 4/116 of Salt Pan Division & 4/356 of Matunga Division, Vidyalankar -College Road, Antop Hill, Wadala (E), Mumbai- 400 037.
Total no. of workers to be employed during the construction phase.	**:**	**Residential & Non- Residential**: 355 Nos.
Total Project cost	**:**	**Rs. 665 Crores + Rs. 190 Crores**
Project Infrastructure	**:**	**One Building 3 Wings – Wing A,B & C:** **Wing A:** 3 Basements + Stilt + 5 Podium + 37 Floors+ 38 Floors (Part) **Wing B:** 3 Basements + Ground + 5 Podium + 36 Upper Floors + 37th Floors (Part) **Wing C:** 3 Basements + Ground + 5 Podium + 38 Upper Floors **Public Parking Facility (658 Nos.)**
Area Statement	**:**	Total Plot Area: **18,667.08 Sq. m** Net Plot Area: **17,733.73 Sq. m** FSI Area: **59,196.90 Sq. m.** Non FSI Area: **1, 21,600.75 Sq.m.** Total BUA: **1, 80,797.65 Sq.m.** R. G. Area on the Ground: **4,434.86 Sq.m**. Green Area on the Podium: **3,318.16 Sq.m**.
Water Requirement and Sources	**:**	**Source: Tanker water and Municipal Corporation of Greater Mumbai** **<u>During Operational Phase -</u>** **Total Water Requirement. :** For Domestic : **248 m^3/ day**-From MCGM For Flushing : **127 m^3/ day**. For Swimming Pool: **23 m^3/ day**. For Gardening: **41 m^3/ day**. Total Water Requirement: **439 m^3/ day**

Sewage Generated	**:**	**325 KL**
Power	**:**	**Source : Brihanmumbai Electric Supply and Transport (BEST)** **During Operational Phase –** Connected Load : **16219 KW** Maximum Demand : **6363 KW** **DG sets** – Capacity of DG set provided is Sale : 1 DG Set of **1250 kVA** Public Parking: 1 DG Set of **1250 kVA** Type of Fuel Used - Diesel
Gaseous emissions	**:**	• Vehicle carrying materials to be transported must have PUC certificate. • Heavy vehicle movement will be allowed only during night time. • Construction equipments with idling control technologies will be used. • Regular maintenance of the equipments will be carried out.
Solid Waste from : **Garbage:** **1. Wet** **2. Dry**	**:**	Wet Waste: **367 Kg/day** Dry Waste: **857 Kg/day** Total Waste Generated: **1224 Kg/day**

ANNEXURE - B

EMP For Construction Phase

Sr. No.	Environmental Component	Mitigation Measures Proposed
1	**Air**	• Barricading of site • PUC of vehicles will be maintained • Dust suppressant would be used to control dust emission • Regular Check up of Stack (if present) • Regular monitoring of Air quality • Use of RMC • Barricading the site with 3m height and using shield to protect emission of dust • Daily cleaning of workers colony
2	**Water**	• Use of Tanker water • Use of septic tanks/ Soak pits / Mobile toilets for disposal of sewage • Regular Pest control done on site
3	**Noise**	• Acoustic DG sets • Separation of Noisy Machinery activity from nearby residential area/ barricading the same • Noisy work will be carried out during day time • Regular maintenance of equipment • Ear plugs /mufflers to workers
4	**Ecology**	• Plantation of Native species; No plantation of new or exotic species.

EMP for Operation Phase:

Sr. No	Environmental Component	Mitigation Measures Proposed
1	**Air**	• DG set exhaust proposed as per CPCB norms • Regular check up and maintenance of stack • Regular PUC check up of vehicles • Trees with dense canopy and barricading effect will be

		planted at compound wall • Use of Low VOC paints
2	**Water**	• Rain water harvesting is proposed. • Use of Pervious paver blocks • RG area maximum on ground • Use of low flush toilets and low pressure taps • Selection of trees with less consumption of water • STP for treatment of Sewage up to tertiary level. • Recycling of treated water for secondary usage like flushing, gardening & car wash
3	**Noise**	• Provision of wide roads for smooth vehicular movement with adequate parking as per Municipal norms • Acoustic Enclosure for DG set
4	**Solid Waste**	• Two bins in each office/shops/flat to collect wet & dry waste separately. • Demarcation of common area for segregation of waste. • OWC and IVC is proposed for wet garbage • Recovery of all valuable like papers, scrap Glass, plastic containers and sale to vendor. • Inert and Remaining waste handed over to Municipal Corporation. • Eco-biocompack unit is proposed for management of solid waste • Solid waste treatment would be carried out at Ground floor.
5	**Storm Water**	• Rain water harvesting is proposed to brought down increment run off. • 1 RWH tank of capacity 112 KL is provided
6	**Energy Consumption**	• LED based lighting will be done in the common areas, landscape

		areas, signage's, Entry gates and boundary compound walls etc. • Auto Timer Switches will be provided for Street lights, Garden lights, Parking & staircase Lights & Other Common Area Lights, for saving electrical energy. • Water Level Controllers with Timers will be used for Water Pumps. • To create awareness to end consumer or flat owner, for using energy efficient light fittings like CFL, T5 Lamps & LED Lights. • Energy Saving Measures: Solar Street Lights (standalone) will be used for few common area/ external lighting. Use of Solar panels for Staircase Lighting and passages • D.G sets with acoustic enclosures
7	**Modifications & Interiors**	• Collect debris, woods articles, scrap etc and handed over to authorized vendors for final disposal instead of keep premises or road side.

HAZARDOUS WASTE MANAGEMENT PLAN

Construction Phase: Environmental Management Plan for Hazardous Waste Generation

Sr. No.	Source of Hazardous Waste Generation	Mitigation Measures
1	Leakages and spillage oil or fuel	* Contaminated soil if any shall be disposed off to Authorized Disposal Site. * Bituminous materials /any other chemicals shall not be allowed to leach into the soil.
2	Residual Paints/Solvents	--do--

Other hazardous wastes, if any, shall also be handled in the similar way through authorized dealers only.

Operational Phase:

Sr. No.	Source of Hazardous Waste Generation	Mitigation Measures	Disposal
1.	Waste Oil from D.G Sets	-	Waste oil will be handed over to authorized recyclers.

ANNEXURE - C

BUDGETARY ALLOCATION DURING CONSTRUCTION PHASE

Sr. No.	Component	Description	Total Cost (Rs. Lakh)
1.	Air Environment	Dust Suppression	14.40
		Air and Noise Monitoring	4.40
		Sensors for Air & Noise Quality Monitoring	10.00
		Batching Plant Monitoring	1.0
2.	Water Environment	Drinking water analysis	0.90
3.	Land Environment	Site Sanitation	5.00
4.	Health & Hygiene Environment	Disinfection- Pest Control	6.00
		Health Checkup of Workers	90.00
5.	Cost towards DMP	--	2404.40
		Total Cost	**2536.1**

BUDGETARY ALLOCATION DURING OPERATION PHASE

Sr. No.	Component		Description	Capital Cost (Rs. In Lakhs)	O & M Cost (Rs. In Lakh /Year)
1.	Air, Noise Environment, Biological Environment		Cost for Gardening	42.64	1.20
			Cost for Ambient air & Noise Monitoring	*No set up cost is involved	0.44
			Cost for DG Stack Exhaust Monitoring	*No set up cost is involved	0.10
			Cost for air cleaning system	150.00	-
2.	Water Environment	Waste water treatment	Cost for Sewage Treatment Plant	68.44	16.37
			Cost for Waste water Monitoring	18.00	1.09
		Water Conservation (RWH System)	Cost for RWH System	11.20	0.56
			Cost for treatment unit for rain water	9.00	0.01
			Cost for Rain water Monitoring	*No set up cost is involved	0.05
3.	Land Environment (Solid Waste Management)		Cost for Treatment of biodegradable garbage in Eco Biocompack	42.00	1.00
			Cost for Monitoring of organic manure	*No set up cost is involved	0.08
4.	Energy Conservation		Solar System for external lighting	60.00	3.00
5.	Cost towards Disaster Management		--	3989.00	163.20
			Total Cost	**4390.28**	**187.1**

Till date approx **1.28** crores were spent for the Environment Management Plan.

Annexure 21: EMP Expenditure Letter

DOSTI REALTY LIMITED

Date: 9th June 2020

To,
The Member Secretary,
State Level Impact Assessment Authority (SEIAA),
Environment Department,
Mantralaya, Mumbai- 400032.

Subject: EMP expenditure for proposed Residential Development with Public Parking Facility for "Dosti Realty Ltd. on plot bearing C.S. No. 2A/116 & 4/116 of Salt Pan Division & 4/356 of Matunga Division, Vidyalankar College Road, Antop Hill, Wadala (E), Mumbai – 400 037.

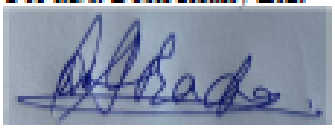
Respected sir,

We M/s. **Dosti Realty Ltd.** have received EC for the above captioned project vide letter no. SEAC-2015/CR-276/TC-1 Dated 12th July, 2016.

Till date Rs. 1.28 Cr has been incurred on Environment Management Plan.

Thanking you,

Yours faithfully,
For M/s. Dosti Realty Ltd.



Deepak K Goradia
(Vice Chairman & Managing Director)

Admn. Office : Lawrence & Mayo House, 1st Floor, 276, Dr. D.N. Road, Fort, Mumbai - 400 001 • Tel.: 022-2219 8500 • Fax: 022-2205 5556
E-mail: info@dostirealty.com • Website: www.dostirealty.com • CIN NO.: U70102MH2008PLC178101